

Executive Summary Report

Characteristics-Based Market Adjustment for 2005 Assessment Roll

Area Name / Number: Star Lake / 27

Previous Physical Inspection: 2000

Improved Sales:

Number of Sales: 942

Range of Sale Dates: 1/2003 - 12/2004

Sales – Improved Valuation Change Summary						
	Land	Imps	Total	Sale Price	Ratio	COV*
2004 Value	\$60,900	\$153,100	\$214,000	\$233,400	91.7%	9.39%
2005 Value	\$65,300	\$166,300	\$231,600	\$233,400	99.2%	9.13%
Change	+\$4,400	+\$13,200	+\$17,600		+7.5%	-0.26%
% Change	+7.2%	+8.6%	+8.2%		+8.2%	-2.73%

*COV is a measure of uniformity; the lower the number the better the uniformity. The negative figures of -0.26% and -2.73% represent an improvement.

Sales used in this analysis: All sales of one to three unit residences on residential lots which were verified as, or appeared to be market sales were considered for the analysis. Individual sales that were excluded are listed later in this report. Multi-parcel sales, multi-building sales, mobile home sales, and sales of new construction where less than a 100% complete house was assessed for 2004 or any existing residence where the data for 2004 is significantly different from the data for 2005 due to remodeling were also excluded. In addition, the summary above excludes sales of parcels that had improvement value of \$10,000 or less posted for the 2004 Assessment Roll. This also excludes previously vacant and destroyed property partial value accounts.

Population - Improved Parcel Summary:			
	Land	Imps	Total
2004 Value	\$61,700	\$151,400	\$213,100
2005 Value	\$66,200	\$164,200	\$230,400
Percent Change	+7.3%	+8.5%	+8.1%

Number of one to three unit residences in the Population: 7014

Summary of Findings: The analysis for this area consisted of a general review of applicable characteristics such as grade, age, condition, stories, living area, views, waterfront, lot size, land problems and neighborhoods. The analysis results showed that several characteristic-based and neighborhood-based variables needed to be included in the update formula in order to improve the uniformity of assessments throughout the area. For instance, **The plats of Arcadia and Cedar Ridge Estate needed more of an upward adjustment and the plats of Dmitrie Place and The Reserve at Star Lake needed less of an upward adjustment.**

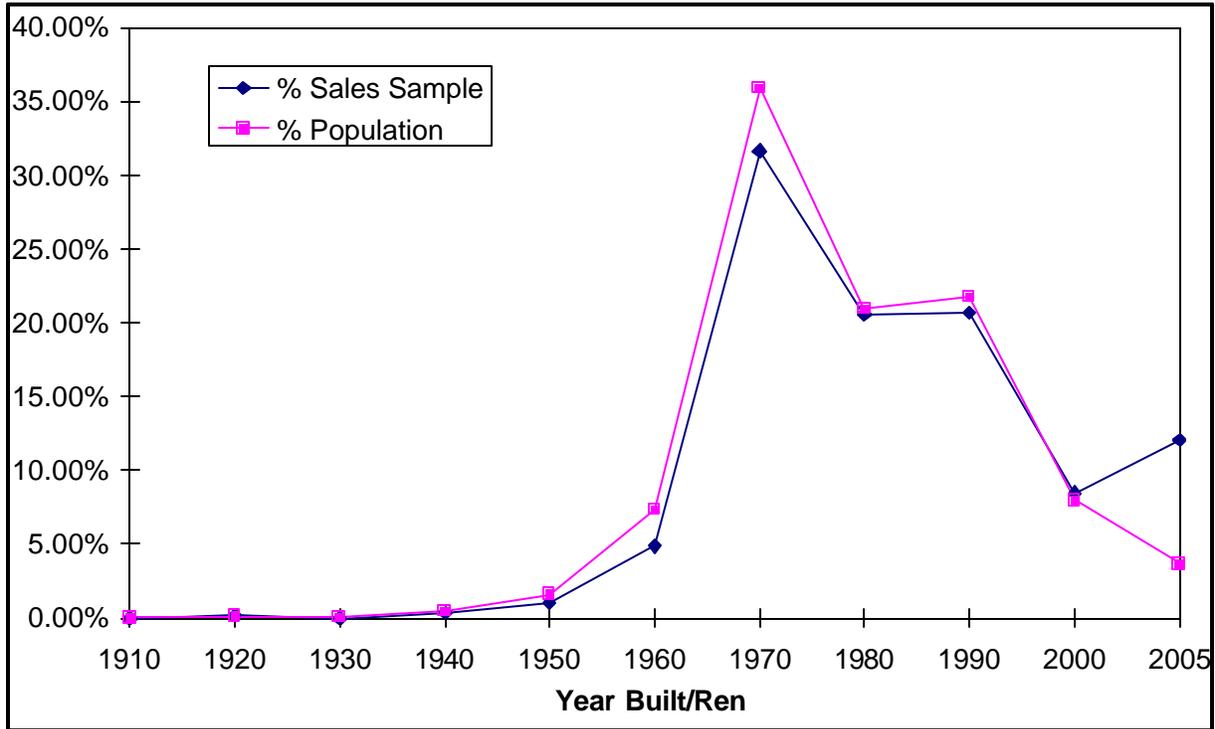
The formula adjusts for these differences thus improving equalization.

The Annual Update Values described in this report improve assessment levels, uniformity and equity. We recommend posting these values for the 2005 assessment roll.

Sales Sample Representation of Population - Year Built / Renovated

Sales Sample		
Year Built/Ren	Frequency	% Sales Sample
1910	0	0.00%
1920	2	0.21%
1930	0	0.00%
1940	3	0.32%
1950	10	1.06%
1960	46	4.88%
1970	298	31.63%
1980	194	20.59%
1990	195	20.70%
2000	80	8.49%
2005	114	12.10%
	942	

Population		
Year Built/Ren	Frequency	% Population
1910	3	0.04%
1920	9	0.13%
1930	8	0.11%
1940	35	0.50%
1950	112	1.60%
1960	515	7.34%
1970	2518	35.90%
1980	1469	20.94%
1990	1528	21.79%
2000	560	7.98%
2005	257	3.66%
	7014	

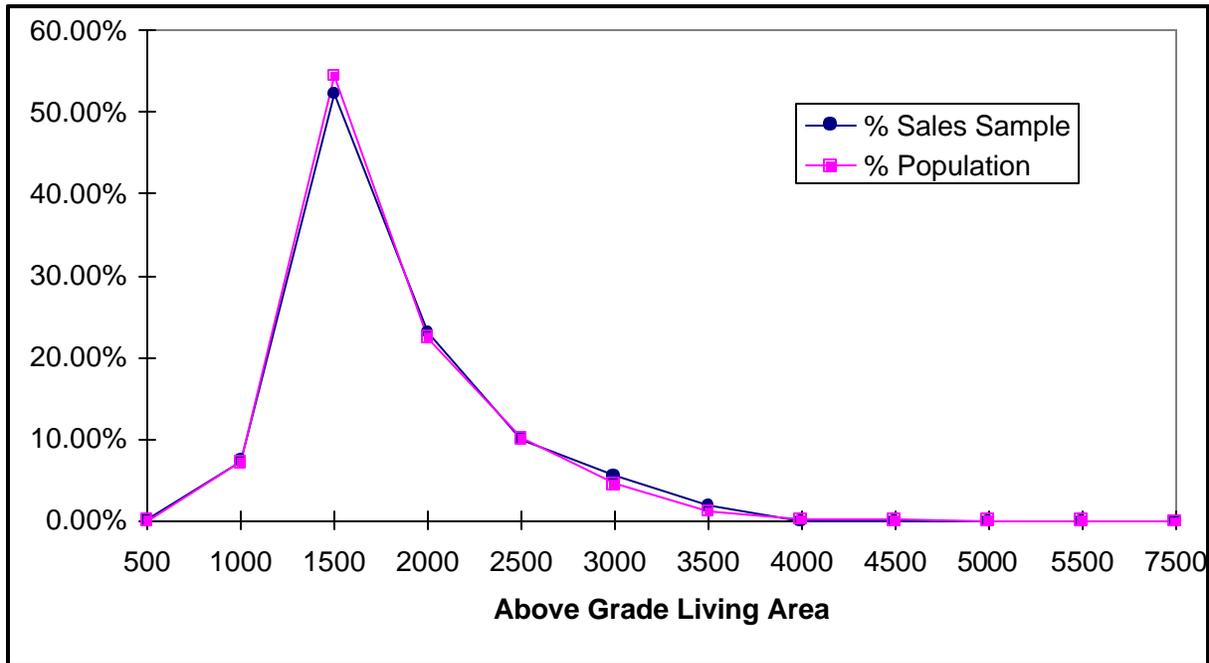


Sales of new homes built in the last ten years are over-represented in this sample. This is a common occurrence due to the fact that most new homes will sell shortly after completion.

Sales Sample Representation of Population - Above Grade Living Area

Sales Sample		
AGLA	Frequency	% Sales Sample
500	1	0.11%
1000	69	7.32%
1500	492	52.23%
2000	217	23.04%
2500	94	9.98%
3000	52	5.52%
3500	17	1.80%
4000	0	0.00%
4500	0	0.00%
5000	0	0.00%
5500	0	0.00%
7500	0	0.00%
	942	

Population		
AGLA	Frequency	% Population
500	2	0.03%
1000	499	7.11%
1500	3819	54.45%
2000	1572	22.41%
2500	705	10.05%
3000	311	4.43%
3500	84	1.20%
4000	12	0.17%
4500	6	0.09%
5000	2	0.03%
5500	2	0.03%
7500	0	0.00%
	7014	

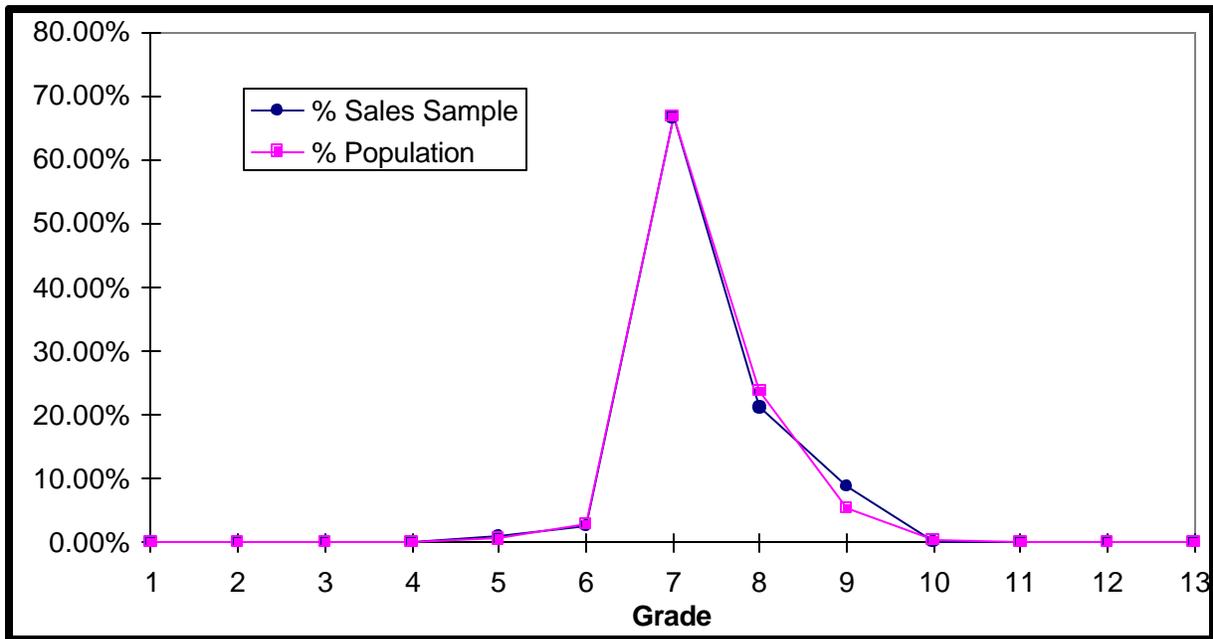


The sales sample frequency distribution follows the population distribution very closely with regard to Above Grade Living Area. This distribution is ideal for both accurate analysis and appraisals.

Sales Sample Representation of Population - Grade

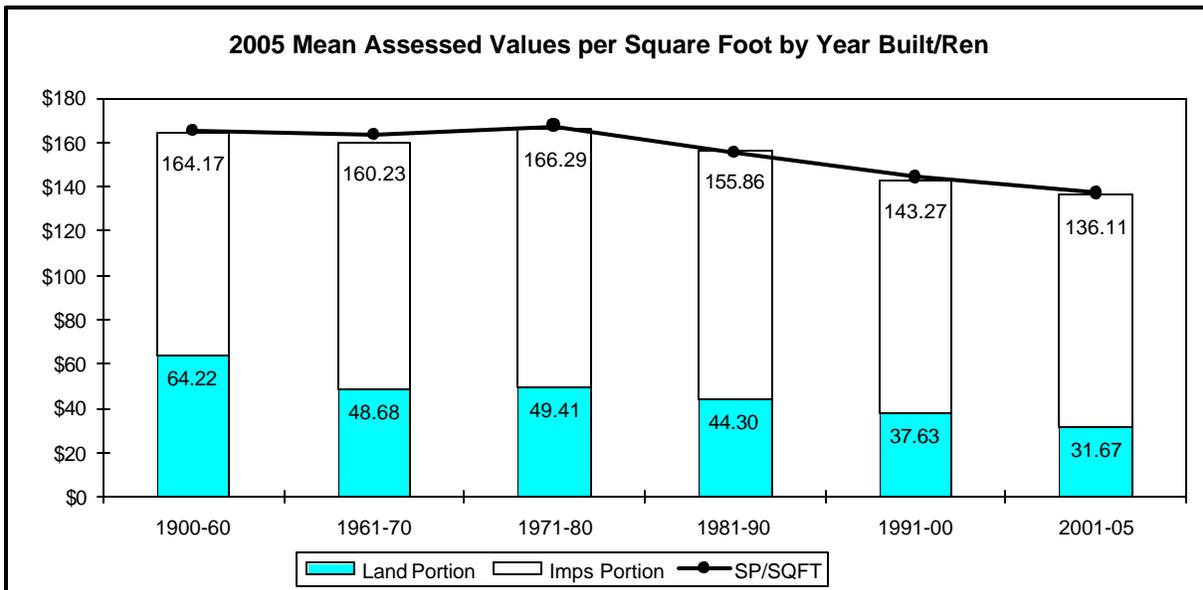
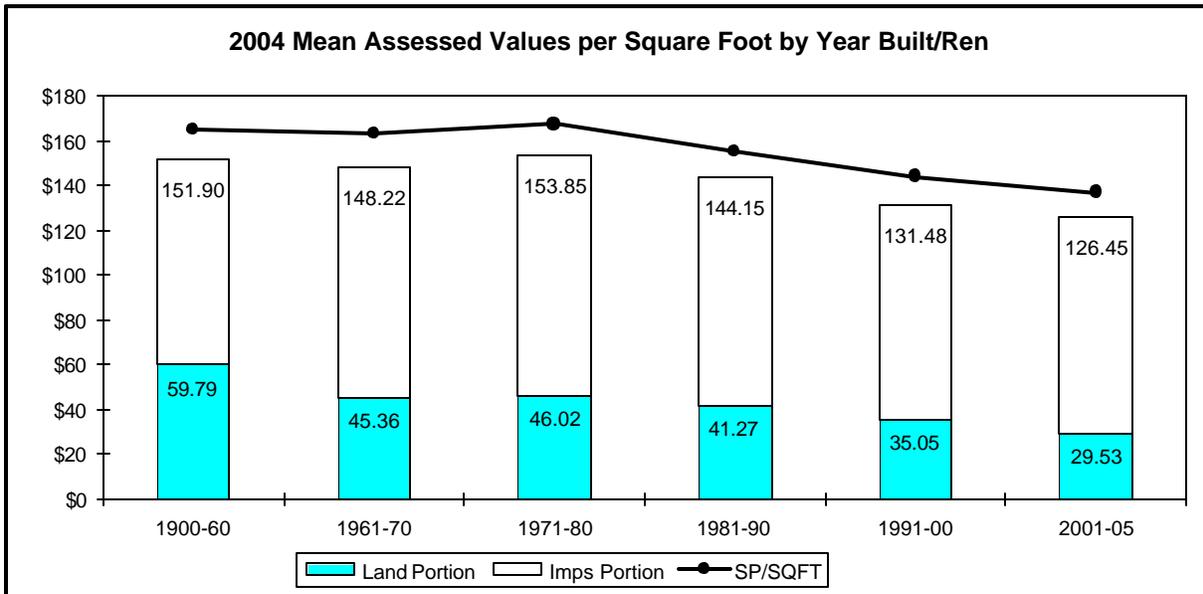
Sales Sample		
Grade	Frequency	% Sales Sample
1	0	0.00%
2	0	0.00%
3	0	0.00%
4	0	0.00%
5	8	0.85%
6	24	2.55%
7	628	66.67%
8	199	21.13%
9	83	8.81%
10	0	0.00%
11	0	0.00%
12	0	0.00%
13	0	0.00%
	942	

Population		
Grade	Frequency	% Population
1	0	0.00%
2	0	0.00%
3	1	0.01%
4	5	0.07%
5	40	0.57%
6	206	2.94%
7	4687	66.82%
8	1668	23.78%
9	377	5.37%
10	26	0.37%
11	4	0.06%
12	0	0.00%
13	0	0.00%
	7014	



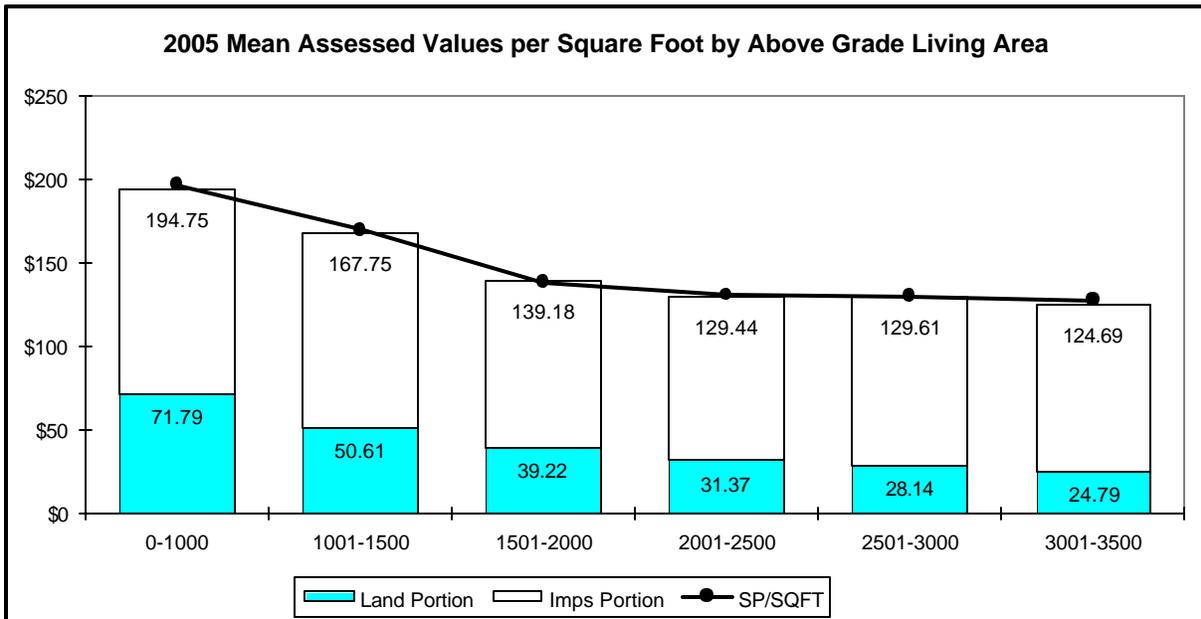
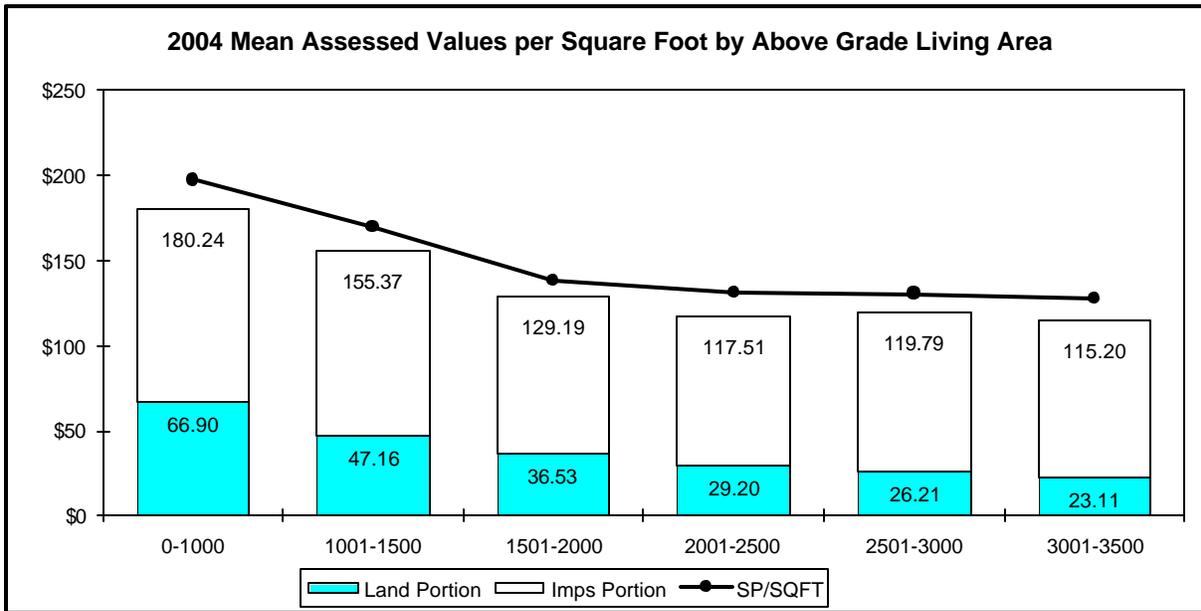
The sales sample frequency distribution follows the population distribution very closely with regard to Building Grade. This distribution is ideal for both accurate analysis and appraisals.

Comparison of 2004 and 2005 Per Square Foot Values By Year Built / Renovated



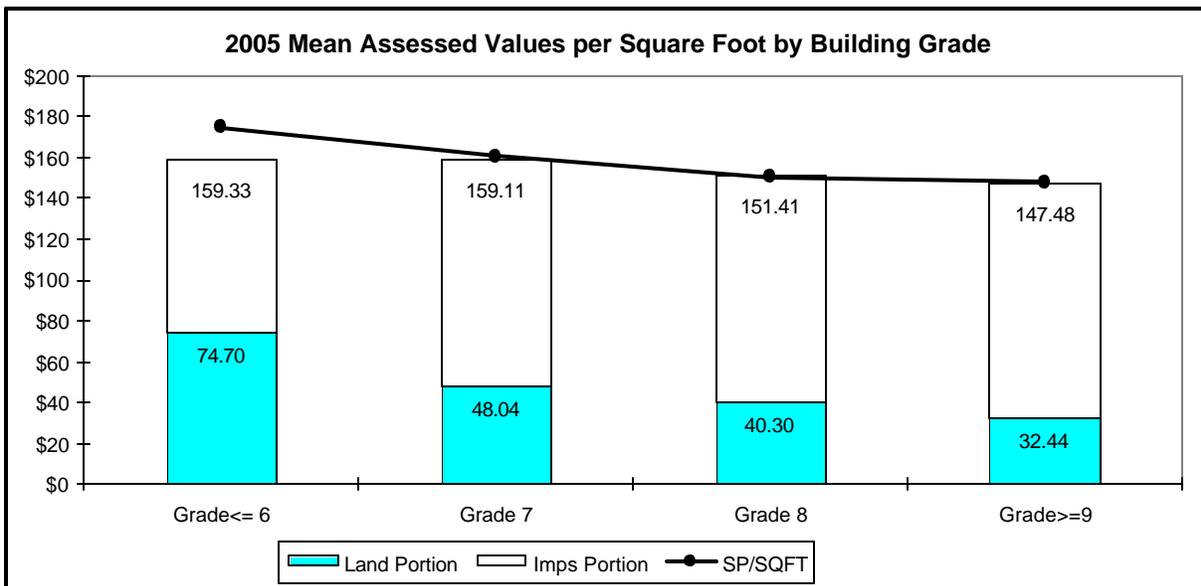
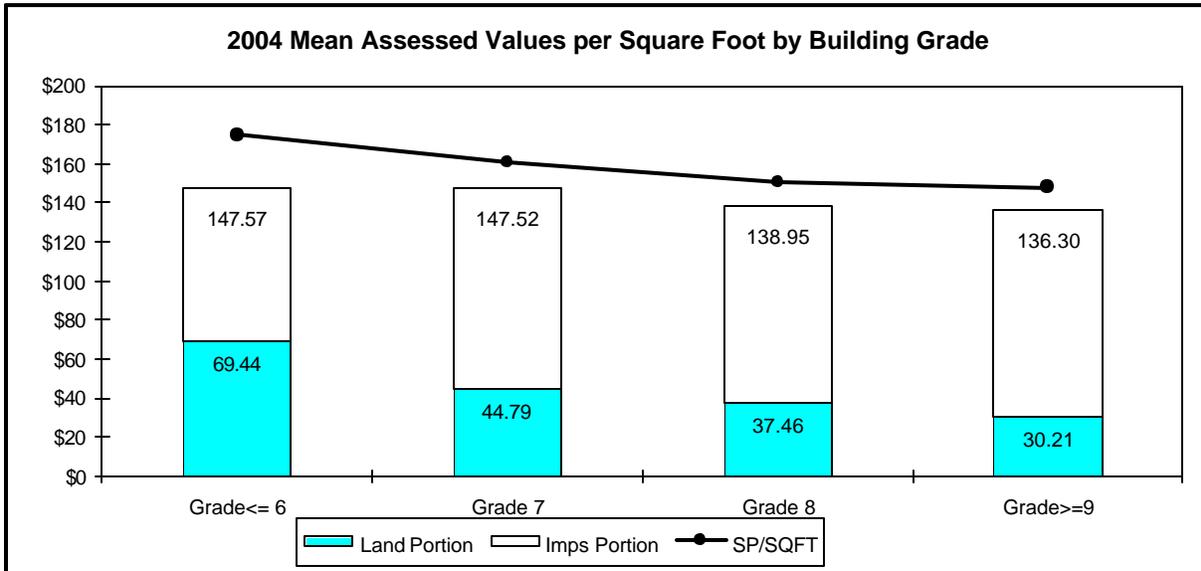
These charts clearly show an improvement in assessment level and uniformity by Year Built/Renovated as a result of applying the 2005 recommended values. The values shown in the improvements portion of the chart represent the value for land and improvements.

Comparison of 2004 and 2005 Per Square Foot Values By Above Grade Living Area



These charts clearly show an improvement in assessment level and uniformity by Above Grade Living Area as a result of applying the 2005 recommended values. The values shown in the improvements portion of the chart represent the value for land and improvements.

Comparison of 2004 and 2005 Per Square Foot Values By Building Grade



These charts clearly show an improvement in assessment level and uniformity by Building Grade as a result of applying the 2005 recommended values. The values shown in the improvements portion of the chart represent the value for land and improvements.

Annual Update Process

Data Utilized

Available sales closed from 1/1/2003 through 12/31/2004 were considered in this analysis. The sales and population data were extracted from the King County Assessor's residential database.

Sales Screening for Improved Parcel Analysis

Improved residential sales removal occurred for parcels meeting the following criteria:

1. Commercially zoned parcels
2. Vacant parcels
3. Mobile home parcels
4. Multi-parcel or multi-building sales
5. New construction where less than a 100% complete house was assessed for 2004
6. Existing residences where the data for 2004 is significantly different than the data for 2005 due to remodeling
7. Parcels with improvements value, but no building characteristics
8. Others as identified in the sales deleted list

See the attached *Improved Sales Used in this Annual Update Analysis* and *Improved Sales Removed from this Annual Update Analysis* at the end of this report for more detailed information.

Land update

Based on the 18 usable land sales available in the area, and their 2004 Assessment Year assessed values, and supplemented by the value increase in sales of improved parcels, an overall market adjustment was derived. This resulted in an overall 7.3% increase in land assessments in the area for the 2005 Assessment Year. The formula is:

2005 Land Value = 2004 Land Value x 1.082, with the result rounded down to the next \$1,000.

Improved Parcel Update

The analysis for this area consisted of a general review of applicable characteristics such as grade, age, condition, stories, living areas, views, waterfront, lot size, land problems and neighborhoods. Upon completion of the initial review, characteristics that indicated an area of possible adjustment were further analyzed using NCSS Statistical Software diagnostic and regression tools in conjunction with Microsoft Excel.

With the exception of real property mobile home parcels & parcels with "accessory only" improvements, the total assessed values on all improved parcels were based on the analysis of the 942 usable residential sales in the area.

The chosen adjustment model was developed using multiple regression. The 2005 assessment ratio (Assessed Value divided by Sale Price) was the dependent variable.

Improved Parcel Update (continued)

The analysis results showed that several characteristic and neighborhood based variables should be included in the update formula in order to improve the uniformity of assessments throughout the area. For instance, **The plats of Arcadia and Cedar Ridge Estate needed more of an upward adjustment and the plats of Dmitrie Place and The Reserve at Star Lake needed less of an upward adjustment.**

The derived adjustment formula is:

$$2005 \text{ Total Value} = 2004 \text{ Total Value} / .922851 - .1105003 * \text{Arcadia} - .120794 * \text{Cedar Ridge Estate} + 0.06663387 * \text{Dmitrie Place} + 0.06446989 * \text{The Reserve at Star Lake}$$

The resulting total value is rounded down to the next \$1,000, *then*:

$$2005 \text{ Improvements Value} = 2005 \text{ Total Value} \text{ minus } 2005 \text{ Land Value}$$

An explanatory adjustment table is included in this report.

- Other:
- *If multiple houses exist on a parcel, the Improvement % Change indicated by the sales sample is used to arrive at new total value (2005 Land Value + Previous Improvement Value * 1.086)
 - *If a house and mobile home exist, the formula derived from the house is used to arrive at new total value.
 - *If “accessory improvements only”, There is no change to the previous improvement value (2005 Land Value + Previous Improvement Value * 1.00).
 - *If vacant parcels (no improvement value) only the land adjustment applies.
 - *If land or improvement values are \$10,000 or less, there is no change from previous value. (Previous Land value * 1.00 Or Previous Improvement value * 1.00)
 - *If a parcel is coded “non-perc” (sewer system=3), there is no change from previous land value.
 - *If a parcel is coded sewer system public restricted, or water district private restricted, or water district public restricted, there is no change from previous land value.
 - *If an improvement is coded “% net condition” or is in “poor” condition, there is no change from previous improvement value (only the land adjustment applies).
 - *If residential properties exist on commercially zoned land, there is no change from previous value. (2005 total value = 2004 total value)

Mobile Home Update

There were not enough mobile home sales for a separate analysis. Mobile home parcels will be valued using the Improvement % Change indicated by the sales sample. The resulting total value is calculated as follows:

$$2005 \text{ Total Value} = 2005 \text{ Land Value} + \text{Previous Improvement Value} * 1.086, \text{ with results rounded down to the next } \$1,000$$

Model Validation

Ratio studies of assessments before and after this annual update are included later in this report. “Before and after” comparison graphs appear earlier in this report.

Area 27 Annual Update Model Adjustments

2005 Total Value = 2004 Total Value + Overall +/- Characteristic Adjustments as Apply Below

Due to rounding of the coefficient values used to develop the percentages and further rounding of the percentages in this table, the results you will obtain are an approximation of adjustment achieved in production.

Overall (if no other adjustments apply)

8.36%

Arcadia (025558)	Yes
% Adjustment	14.74%
CedarRidge Estate (146090)	Yes
% Adjustment	16.32%
Dmitrie Place (204800)	Yes
% Adjustment	-7.30%
Reserve at StarLake (723759)	Yes
% Adjustment	-7.08%

Comments

The % adjustments shown are what would be applied in the absence of any other adjustments.

For instance, parcel in the Plat of Arcadia (025558) would receive approximately a 23.1% upward adjustment (8.36% + 14.74%). Twenty-Four parcels would receive this adjustment.

For instance, parcel in the Plat of Cedar Ridge Estate (146090) would receive approximately a 24.68% upward adjustment (8.36% + 16.32%). Fourteen parcels would receive this adjustment.

For instance, parcel in the Plat of Dmitire Place (204800) would receive approximately a 1.06% upward adjustment (8.36% - 7.30%). Forty-Six parcels would receive this adjustment.

For instance, parcel in the Plat of The Reserve at Star Lake (723759) would receive approximately a 1.28% upward adjustment (8.36% - 7.08%). Forty-Five parcels would receive this adjustment.

82% of the population of 1 to 3 family home parcels in the area are adjusted by the overall alone.

Area 27 Summary of Neighborhood Plat Variables

Plat Number	Plat Name	# Sales	# Pop	% of Pop	QSTR	Sub	Range of Building Grades	Range of Year Built	Nearest Major Roadway
025558	Arcadia	5	24	20.8%	NW-3-21-4	12	7	1999	41 st St CT S and S 292ND PL
146090	Cedar Ridge Estate	13	14	92.8	SW-2-21-4	11	8	2004	55 th PI S and S 296TH PL
204800	Dmitrie Place	17	46	36.95	SW-3-21-4	12	7	2001-2003	34 th Av S and S 300 th St
723759	The Reserve at Star Lake	16	45	35.5	NE-33-22-4	9	7	2004	30 th Av S and S 278TH PL

Area 27 Annual Update Ratio Confidence Intervals

These tables represent the percentage changes for specific characteristics.

A 2005 LOWER 95% C.L. greater than the overall weighted mean indicates that assessment levels may be relatively high. A 2005 UPPER 95% C.L. less than the overall weighted mean indicates that assessment levels may be relatively low. The overall 2005 weighted mean is .992.

The confidence interval for the arithmetic mean is used as an estimate for the weighted mean.

It is difficult to draw valid conclusions when the sales count is low.

Bldg Grade	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
<=6	32	0.849	0.917	8.0%	0.871	0.962
7	628	0.919	0.991	7.8%	0.984	0.998
8	199	0.919	1.004	9.2%	0.992	1.015
>=9	83	0.918	0.994	8.2%	0.971	1.016
Year Built or Year Renovated	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
1900-1960	61	0.923	0.997	8.1%	0.971	1.023
1961-1970	298	0.909	0.983	8.1%	0.972	0.994
1971-1980	194	0.920	0.994	8.1%	0.981	1.008
1981-1990	195	0.928	1.004	8.1%	0.992	1.016
1991-2000	80	0.911	0.992	8.9%	0.971	1.013
2001-2005	114	0.913	0.989	8.3%	0.976	1.002
Condition	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
Fair/Average	794	0.916	0.991	8.2%	0.985	0.997
Good/VeryGood	148	0.925	1.000	8.1%	0.986	1.014
Stories	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
1	634	0.920	0.994	8.1%	0.987	1.002
1.5	10	0.835	0.903	8.2%	0.821	0.985
2	298	0.915	0.992	8.5%	0.983	1.001

Area 27 Annual Update Ratio Confidence Intervals

These tables represent the percentage changes for specific characteristics.

A 2005 LOWER 95% C.L. greater than the overall weighted mean indicates that assessment levels may be relatively high. A 2005 UPPER 95% C.L. less than the overall weighted mean indicates that assessment levels may be relatively low. The overall 2005 weighted mean is .992.

The confidence interval for the arithmetic mean is used as an estimate for the weighted mean.

It is difficult to draw valid conclusions when the sales count is low.

Above Grade Living Area	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
0-1000	70	0.917	0.991	8.1%	0.967	1.016
1001-1500	492	0.916	0.989	8.0%	0.981	0.997
1501-2000	217	0.932	1.004	7.8%	0.993	1.016
2001-2500	94	0.896	0.987	10.2%	0.971	1.004
2501-3000	52	0.918	0.993	8.2%	0.966	1.020
3001-3500	17	0.901	0.975	8.2%	0.939	1.012
View Y/N	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
N	898	0.916	0.992	8.2%	0.986	0.998
Y	44	0.927	1.003	8.2%	0.966	1.040
Wft Y/N	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
N	934	0.917	0.993	8.2%	0.987	0.998
Y	8	0.896	0.968	8.1%	0.859	1.078
Sub	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
6	273	0.921	0.996	8.1%	0.985	1.008
9	185	0.920	0.990	7.7%	0.978	1.003
11	141	0.911	1.000	9.8%	0.985	1.015
12	343	0.914	0.987	8.0%	0.977	0.996
Lot Size	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
<5001	59	0.920	0.990	7.6%	0.975	1.005
5001-12000	751	0.918	0.994	8.3%	0.987	1.000
12001-16000	57	0.926	1.002	8.1%	0.976	1.027
>16000	75	0.901	0.975	8.2%	0.948	1.001

Area 27 Annual Update Ratio Confidence Intervals

These tables represent the percentage changes for specific characteristics.

A 2005 LOWER 95% C.L. greater than the overall weighted mean indicates that assessment levels may be relatively high. A 2005 UPPER 95% C.L. less than the overall weighted mean indicates that assessment levels may be relatively low. The overall 2005 weighted mean is .992.

The confidence interval for the arithmetic mean is used as an estimate for the weighted mean.

It is difficult to draw valid conclusions when the sales count is low.

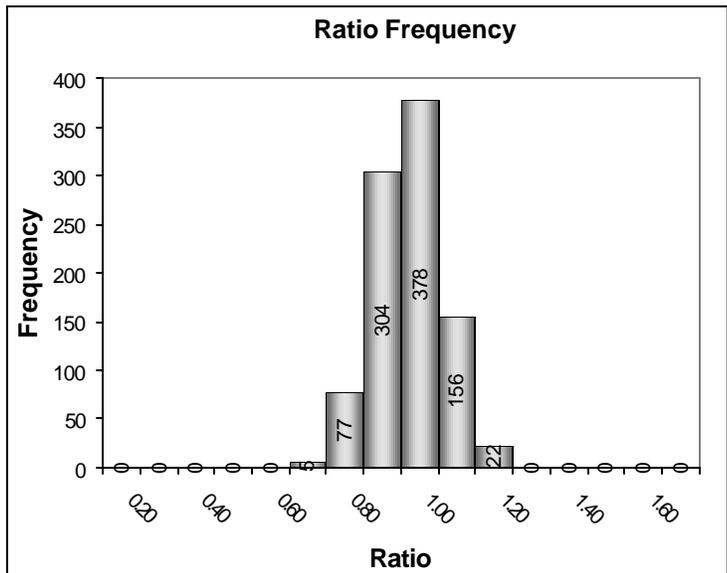
Arcadia (025558)	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
N	937	0.918	0.992	8.2%	0.986	0.998
Y	5	0.809	0.994	22.9%	0.903	1.084
Cedar Ridge Estate (146090)	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
N	929	0.919	0.992	8.0%	0.986	0.998
Y	13	0.802	0.997	24.4%	0.978	1.017
Dmitrie Place (204800)	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
N	925	0.916	0.992	8.3%	0.986	0.998
Y	17	0.987	0.993	0.6%	0.972	1.014
The Reserve at Star Lake (723759)	Count	2004 Weighted Mean	2005 Weighted Mean	Percent Change	2005 Lower 95% C.L.	2005 Upper 95% C.L.
N	926	0.916	0.992	8.3%	0.986	0.998
Y	16	0.984	0.994	1.0%	0.967	1.020

Annual Update Ratio Study Report (Before)

2004 Assessments

District/Team: Southwest District 3 / Team 2	Lien Date: 01/01/2004	Date of Report: 2/17/2005	Sales Dates: 1/2003 - 12/2004
Area Star Lake	Appr ID: KSCH	Property Type: 1 to 3 Unit Residences	Adjusted for time?: No

SAMPLE STATISTICS	
Sample size (n)	942
Mean Assessed Value	214,000
Mean Sales Price	233,400
Standard Deviation AV	52,620
Standard Deviation SP	60,331
ASSESSMENT LEVEL	
Arithmetic Mean Ratio	0.923
Median Ratio	0.922
Weighted Mean Ratio	0.917
UNIFORMITY	
Lowest ratio	0.689
Highest ratio:	1.163
Coefficient of Dispersion	7.57%
Standard Deviation	0.087
Coefficient of Variation	9.39%
Price Related Differential (PRD)	1.007
RELIABILITY	
95% Confidence: Median	
Lower limit	0.915
Upper limit	0.929
95% Confidence: Mean	
Lower limit	0.917
Upper limit	0.928
SAMPLE SIZE EVALUATION	
N (population size)	7014
B (acceptable error - in decimal)	0.05
S (estimated from this sample)	0.087
Recommended minimum:	12
Actual sample size:	942
Conclusion:	OK
NORMALITY	
Binomial Test	
# ratios below mean:	479
# ratios above mean:	463
z:	0.521
Conclusion:	Normal*
<i>*i.e. no evidence of non-normality</i>	



COMMENTS:

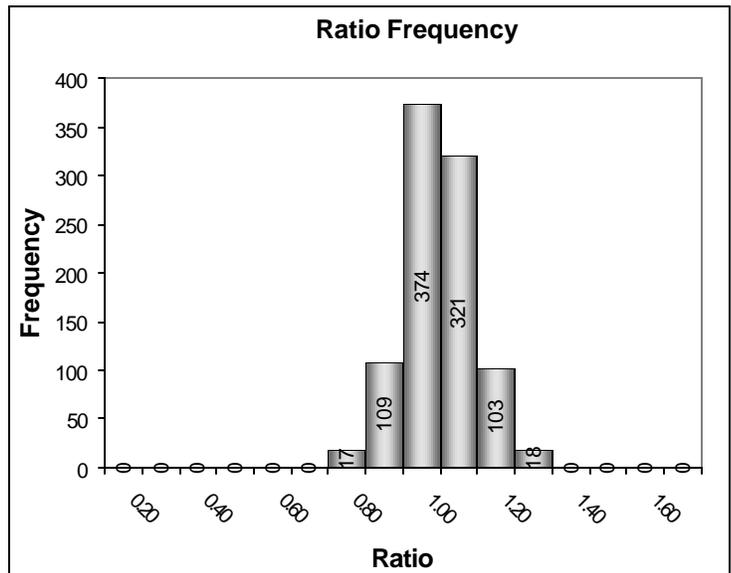
1 to 3 Unit Residences throughout area 27

Annual Update Ratio Study Report (After)

2005 Assessments

District/Team: Southwest District 3 / Team 2	Lien Date: 01/01/2005	Date of Report: 2/17/2005	Sales Dates: 1/2003 - 12/2004
Area Star Lake	Appr ID: KSCH	Property Type: 1 to 3 Unit Residences	Adjusted for time?: No

SAMPLE STATISTICS	
Sample size (n)	942
Mean Assessed Value	231,600
Mean Sales Price	233,400
Standard Deviation AV	57,803
Standard Deviation SP	60,331
ASSESSMENT LEVEL	
Arithmetic Mean Ratio	0.998
Median Ratio	0.995
Weighted Mean Ratio	0.992
UNIFORMITY	
Lowest ratio	0.741
Highest ratio:	1.255
Coefficient of Dispersion	7.27%
Standard Deviation	0.091
Coefficient of Variation	9.13%
Price Related Differential (PRD)	1.005
RELIABILITY	
95% Confidence: Median	
Lower limit	0.987
Upper limit	1.000
95% Confidence: Mean	
Lower limit	0.992
Upper limit	1.003
SAMPLE SIZE EVALUATION	
N (population size)	7014
B (acceptable error - in decimal)	0.05
S (estimated from this sample)	0.091
Recommended minimum:	13
Actual sample size:	942
Conclusion:	OK
NORMALITY	
Binomial Test	
# ratios below mean:	486
# ratios above mean:	456
z:	0.977
Conclusion:	Normal*
<i>*i.e. no evidence of non-normality</i>	



COMMENTS:

1 to 3 Unit Residences throughout area 27

Both assessment level and uniformity have been improved by application of the recommended values.

Glossary for Improved Sales

Condition: Relative to Age and Grade

- | | |
|--------------|---|
| 1= Poor | Many repairs needed. Showing serious deterioration |
| 2= Fair | Some repairs needed immediately. Much deferred maintenance. |
| 3= Average | Depending upon age of improvement; normal amount of upkeep for the age of the home. |
| 4= Good | Condition above the norm for the age of the home. Indicates extra attention and care has been taken to maintain |
| 5= Very Good | Excellent maintenance and updating on home. Not a total renovation. |

Residential Building Grades

- | | |
|--------------|--|
| Grades 1 - 3 | Falls short of minimum building standards. Normally cabin or inferior structure. |
| Grade 4 | Generally older low quality construction. Does not meet code. |
| Grade 5 | Lower construction costs and workmanship. Small, simple design. |
| Grade 6 | Lowest grade currently meeting building codes. Low quality materials, simple designs. |
| Grade 7 | Average grade of construction and design. Commonly seen in plats and older subdivisions. |
| Grade 8 | Just above average in construction and design. Usually better materials in both the exterior and interior finishes. |
| Grade 9 | Better architectural design, with extra exterior and interior design and quality. |
| Grade 10 | Homes of this quality generally have high quality features. Finish work is better, and more design quality is seen in the floor plans and larger square footage. |
| Grade 11 | Custom design and higher quality finish work, with added amenities of solid woods, bathroom fixtures and more luxurious options. |
| Grade 12 | Custom design and excellent builders. All materials are of the highest quality and all conveniences are present. |
| Grade 13 | Generally custom designed and built. Approaching the Mansion level. Large amount of highest quality cabinet work, wood trim and marble; large entries. |

Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
6	005950	0280	12/01/04	\$282,500	1900	0	8	1989	3	7368	N	N	3901 S 271ST PL
6	005950	0330	05/11/04	\$289,500	2270	0	8	1989	3	7807	N	N	3929 S 271ST PL
6	005950	0350	12/11/04	\$285,000	1950	0	8	1988	3	7304	N	N	3953 S 271ST PL
6	005950	0360	05/01/03	\$215,000	1600	0	8	1988	3	7226	N	N	3957 S 271ST PL
6	011000	0030	11/20/03	\$182,000	1090	0	7	1960	3	8712	N	N	25623 34TH AV S
6	011000	0070	09/28/04	\$230,000	1820	0	7	1960	3	8712	N	N	25821 34TH AV S
6	011000	0130	04/24/03	\$180,000	1260	620	7	1961	3	8712	N	N	25622 34TH AV S
6	011000	0180	05/02/03	\$175,000	1190	0	7	1961	3	8712	N	N	25830 34TH AV S
6	085510	0015	12/16/03	\$256,000	2070	0	8	1990	3	12001	Y	N	23621 42ND PL S
6	125320	0175	07/29/03	\$216,500	1500	750	7	1961	3	7350	N	N	24906 38TH AV S
6	125320	0190	05/14/04	\$182,500	1320	0	7	1968	3	9750	N	N	3831 S 249TH ST
6	125320	0235	04/09/04	\$225,000	1020	850	7	1967	3	9180	N	N	3810 S 249TH ST
6	125320	0290	12/13/04	\$239,000	1110	750	7	1963	4	9112	N	N	3915 S 248TH ST
6	131050	0040	09/24/03	\$225,000	1340	650	8	1963	3	9800	N	N	26405 ETON CT
6	131050	0060	09/20/04	\$285,000	1470	0	8	1963	3	10140	N	N	26406 ETON CT
6	131050	0070	10/24/03	\$228,000	1280	850	8	1976	3	8100	N	N	26414 ETON CT
6	131050	0090	04/05/04	\$268,000	1700	600	8	1963	3	7600	N	N	3504 HAMPTON WY
6	131050	0120	07/15/03	\$258,750	1360	1080	8	1963	3	10980	N	N	26401 MANCHESTER AV
6	131050	0150	09/16/03	\$257,500	2360	0	8	1965	3	8060	N	N	3528 HAMPTON WY
6	131050	0180	10/22/03	\$204,000	1450	0	8	1965	4	7420	N	N	26509 MANCHESTER AV
6	131050	0230	08/28/03	\$190,000	1160	170	8	1965	3	6728	N	N	26545 MANCHESTER AV
6	131050	0330	10/06/03	\$226,000	1420	720	8	1963	3	8496	N	N	3544 STRATTFORD CT
6	131050	0410	02/05/03	\$203,000	1430	0	8	1963	3	6840	N	N	3535 STRATTFORD CT
6	131060	0220	06/12/03	\$259,950	2230	0	8	1965	3	8840	N	N	26508 HIGHLAND AV
6	131070	0220	01/23/04	\$258,000	2250	0	8	1966	3	9460	N	N	26431 PRINCETON AV
6	131070	0230	02/11/03	\$210,000	1880	0	8	1966	3	8250	N	N	26501 PRINCETON AV
6	131070	0280	08/16/04	\$230,000	1930	0	8	1966	3	8360	N	N	26609 PRINCETON AV
6	131080	0120	05/22/03	\$217,000	1220	500	7	1966	4	8610	N	N	3630 S 268TH ST
6	131090	0040	01/10/03	\$247,000	2560	0	8	1967	3	13130	N	N	3903 HAMPTON WY
6	131090	0220	06/11/03	\$226,000	1260	910	8	1968	3	9749	N	N	4022 HAMPTON WY

**Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
6	131090	0340	05/23/03	\$255,500	1570	1570	8	1974	3	7500	N	N	4116 SOMERSET LN
6	131090	0470	09/16/04	\$294,000	2250	0	8	1967	3	8100	N	N	26430 CAMBRIDGE DR
6	131090	0490	08/08/03	\$215,500	1880	0	8	1968	3	7500	N	N	26420 CAMBRIDGE DR
6	131091	0050	06/18/03	\$260,000	1430	620	8	1972	4	10560	N	N	26828 DOWNING AV
6	131091	0070	03/09/04	\$239,950	1380	440	8	1972	3	7777	N	N	4237 CARNABY ST
6	131096	0020	12/03/03	\$221,000	1670	0	8	1977	3	8436	N	N	26922 46TH AV S
6	131096	0040	08/22/03	\$224,000	1380	500	8	1977	3	7229	N	N	26910 46TH AV S
6	131096	0140	03/15/03	\$239,950	1450	890	8	1977	3	9900	N	N	26924 ARDEN CT
6	131096	0180	03/04/03	\$249,950	2080	0	8	1977	3	7210	N	N	26828 ARDEN CT
6	131096	0300	06/18/04	\$272,500	1430	1290	8	1977	4	7490	N	N	26608 DOVER CT
6	131096	0320	04/26/04	\$272,500	1620	1470	8	1977	3	7350	N	N	26601 DOVER CT
6	131096	0350	09/05/03	\$234,950	2320	0	8	1977	3	7200	N	N	26615 DOVER CT
6	131096	0390	09/21/04	\$284,000	1560	920	8	1977	3	7161	N	N	4622 FENWICK CT
6	131096	0400	05/11/04	\$264,500	1470	1100	8	1977	3	7280	N	N	4616 FENWICK CT
6	131096	0480	03/19/04	\$255,000	2070	0	8	1977	3	7150	N	N	4611 FENWICK CT
6	131096	0490	06/23/03	\$269,000	1530	890	8	1977	3	7178	N	N	4619 FENWICK CT
6	131096	0560	04/11/03	\$227,000	1980	0	8	1977	3	7211	N	N	4524 CARNABY ST
6	131097	0150	05/21/04	\$275,000	1460	500	8	1978	3	7435	N	N	26905 AVON CT
6	131098	0110	06/24/04	\$264,950	1920	0	8	1982	3	7840	N	N	4622 HAMPTON CT
6	131098	0140	01/16/04	\$252,000	1410	770	8	1979	3	7350	N	N	4516 HAMPTON CT
6	131098	0160	02/03/03	\$245,000	1440	1090	8	1979	3	7644	N	N	4504 HAMPTON CT
6	131098	0270	10/12/04	\$262,000	1440	850	8	1979	3	9120	N	N	4630 SOMERSET CT
6	131098	0430	09/02/04	\$249,000	1570	0	8	1981	3	12314	N	N	4622 KENT CT
6	131098	0440	04/06/04	\$275,000	1680	1530	8	1979	3	7480	N	N	4616 KENT CT
6	131098	0550	04/07/04	\$279,950	1390	700	8	1984	3	9694	N	N	4411 SOMERSET LN
6	131098	0650	05/29/03	\$228,000	1840	430	8	1980	3	7420	N	N	26627 BRISTOL CT
6	131098	0660	01/13/03	\$236,450	1990	0	8	1983	3	7262	N	N	26703 BRISTOL CT
6	131098	0730	08/19/04	\$312,000	2420	0	8	1980	3	9828	N	N	26732 BRISTOL CT
6	131098	0740	11/08/04	\$285,000	2000	0	8	1980	3	7875	N	N	26726 BRISTOL CT
6	131098	0760	10/01/03	\$280,000	2440	0	8	1984	3	7210	N	N	26714 BRISTOL CT
6	131099	0020	06/17/04	\$215,000	960	440	7	1981	4	8280	N	N	25413 38TH PL S

**Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
6	131099	0040	08/12/04	\$227,500	960	440	7	1981	3	11200	N	N	3805 S 255TH PL
6	131099	0080	02/26/04	\$284,750	2600	0	8	1985	3	7920	N	N	3903 S 255TH PL
6	131099	0130	08/20/04	\$299,950	2000	0	9	1984	3	15288	N	N	25414 39TH PL S
6	131099	0250	05/13/04	\$248,000	1010	900	7	1981	3	7650	N	N	25412 38TH PL S
6	131099	0270	04/27/04	\$285,000	2040	0	8	1988	3	7650	N	N	25419 39TH PI S
6	131099	0280	07/27/04	\$285,000	1790	300	8	1985	3	9225	N	N	25409 39TH PL S
6	144070	0140	11/10/04	\$254,950	1370	790	7	1977	3	8050	Y	N	25210 45TH AV S
6	144070	0270	10/08/03	\$228,500	1330	510	7	1977	3	7700	N	N	25307 45TH AV S
6	155520	0040	03/08/04	\$226,000	1120	1040	7	1966	3	7200	N	N	3512 S 248TH ST
6	155520	0100	09/13/04	\$195,000	1210	0	7	1963	3	7000	N	N	24903 35TH PL S
6	155520	0120	07/29/03	\$181,000	1210	0	7	1963	4	7000	N	N	24919 35TH PL S
6	155520	0150	04/17/03	\$150,000	920	0	7	1963	4	7000	N	N	25007 35TH PL S
6	155520	0170	11/19/04	\$238,000	1030	510	7	1963	3	7000	N	N	25021 35TH PL S
6	155520	0190	03/25/04	\$194,950	960	840	7	1963	4	7000	N	N	3506 S 251ST ST
6	155520	0250	12/16/03	\$162,958	920	0	7	1963	4	7080	N	N	24924 35TH AV S
6	155520	0460	11/07/03	\$204,000	1370	0	7	1966	4	8000	N	N	25107 35TH AV S
6	155520	0560	09/10/03	\$174,500	1150	0	7	1963	3	9680	N	N	25034 34TH PL S
6	155520	0630	11/18/04	\$182,283	920	0	7	1963	3	8400	N	N	24920 35TH PL S
6	155520	0650	10/21/03	\$222,950	1230	950	7	1963	3	8400	N	N	24904 35TH PL S
6	155530	0080	06/11/03	\$173,000	1340	0	7	1966	3	8190	N	N	24916 34TH AV S
6	155530	0100	03/29/04	\$195,000	1210	0	7	1966	3	6060	N	N	24928 34TH AV S
6	155530	0220	06/25/04	\$165,000	1470	0	7	1966	3	7000	N	N	3317 S 251ST PL
6	155530	0480	06/13/03	\$253,500	1030	1030	7	1967	3	8800	Y	N	24901 34TH AV S
6	155530	0480	02/13/03	\$229,000	1030	1030	7	1967	3	8800	Y	N	24901 34TH AV S
6	155530	0500	10/29/03	\$170,001	1060	0	7	1969	3	7150	Y	N	24829 34TH AV S
6	194140	0020	05/21/04	\$192,500	1040	0	7	1966	3	7840	N	N	26020 42ND AV S
6	194140	0180	01/02/04	\$213,000	1500	0	7	1976	3	11273	N	N	4214 S 261ST ST
6	194140	0190	09/02/03	\$169,500	990	0	7	1962	3	6610	N	N	4215 S 261ST ST
6	194140	0210	09/19/03	\$175,000	1250	420	7	1964	2	7708	N	N	4231 S 261ST ST
6	194140	0270	07/24/03	\$201,500	1030	1030	7	1960	3	9375	N	N	4333 S 261ST ST
6	222204	9090	05/15/03	\$245,000	2060	0	8	2002	3	8095	N	N	3809 S 250TH PL

**Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
6	222204	9091	07/16/03	\$269,950	2440	0	8	2002	3	7379	N	N	3815 S 250TH PL
6	222204	9095	08/11/04	\$255,000	1350	500	8	1960	3	12480	Y	N	3737 S 243RD ST
6	222204	9116	06/30/04	\$215,000	1300	0	7	1962	3	7405	N	N	4509 S 254TH ST
6	222204	9191	11/10/04	\$215,500	1180	0	7	1985	3	7369	N	N	25115 42ND AV S
6	222204	9209	10/16/03	\$245,000	1870	0	8	1995	3	9533	N	N	3820 S 252ND PL
6	222204	9219	05/28/03	\$271,000	2450	0	8	2002	3	7379	N	N	3811 S 250TH PL
6	272204	9016	03/29/04	\$320,000	2500	1000	7	1958	4	26501	N	N	3410 S 272ND ST
6	272204	9033	07/24/03	\$181,000	1320	0	7	1962	3	9583	N	N	3331 S 268TH ST
6	272204	9053	08/21/03	\$265,000	870	0	5	1946	2	138520	N	N	26015 MILITARY RD S
6	272204	9056	06/26/03	\$135,000	650	0	5	1960	3	12196	N	N	3717 S 260TH ST
6	272204	9204	05/26/04	\$216,500	1270	0	7	1979	3	9147	N	N	26018 36TH PL S
6	272204	9207	10/14/04	\$384,950	3270	0	8	1979	3	15600	N	N	4408 S 272ND ST
6	272204	9225	06/25/04	\$279,950	1780	0	8	1992	3	29614	N	N	4602 S 258TH PL
6	272204	9230	07/27/04	\$332,500	1840	0	8	1992	3	10500	N	N	27113 46TH AV S
6	272204	9239	04/23/04	\$347,500	2780	0	9	2004	3	17614	N	N	25730 45TH PL S
6	272204	9257	09/16/04	\$500,000	2480	0	9	1999	3	51876	N	N	3330 S 271ST ST
6	282204	9080	02/12/03	\$188,000	1150	1150	7	1951	3	29123	N	N	3004 S 271ST ST
6	282204	9105	12/21/04	\$135,000	950	0	7	1949	3	27007	N	N	26447 MILITARY RD S
6	282204	9250	05/25/04	\$195,000	1880	0	7	1960	3	16200	N	N	3005 S 271ST ST
6	289460	0005	08/05/04	\$220,000	1720	0	7	1959	3	11792	N	N	3803 S 250TH ST
6	289470	0140	10/02/03	\$230,000	1330	1100	8	1962	4	10125	N	N	4211 S 249TH ST
6	289470	0200	08/06/03	\$224,950	1730	0	8	1965	4	7875	N	N	4238 S 250TH ST
6	289470	0280	10/24/03	\$253,000	1300	1250	8	1962	4	10050	N	N	4227 S 248TH ST
6	289470	0300	08/27/04	\$256,000	1330	640	8	1966	4	8128	N	N	24811 43RD AV S
6	289470	0590	07/09/03	\$250,000	1980	0	8	1969	3	15600	Y	N	24724 43RD AV S
6	289470	0600	12/16/03	\$330,000	1780	1140	9	1968	3	15600	Y	N	24714 43RD AV S
6	289480	0010	06/26/03	\$241,150	1170	780	7	1966	3	9600	N	N	4203 S 252ND ST
6	289490	0050	02/09/04	\$229,000	1320	500	8	1967	3	7350	Y	N	4227 S 247TH CT
6	289500	0020	02/07/03	\$219,900	1640	0	8	1979	3	8448	Y	N	4209 S 247TH ST
6	289500	0090	06/09/04	\$349,500	1600	690	8	1981	3	25920	Y	N	24602 43RD AV S
6	289500	0120	05/07/03	\$313,500	2520	0	8	1985	3	25974	Y	N	24506 43RD AV S

**Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
6	289500	0270	02/20/04	\$235,000	2010	0	8	1979	3	9506	N	N	4208 S 246TH CT
6	289500	0340	11/05/04	\$280,000	1410	410	8	1981	4	11550	N	N	4204 S 247TH ST
6	289510	0040	07/18/03	\$324,950	2490	0	8	1999	3	16240	Y	N	25317 42ND PL S
6	289510	0120	11/25/03	\$320,000	1800	1700	8	1991	3	11972	Y	N	25330 42ND PL S
6	289511	0040	05/16/03	\$182,000	1180	0	7	1948	3	8250	Y	N	25215 REITH RD
6	315950	0080	06/28/04	\$208,000	1230	0	7	1966	3	10366	N	N	3223 S 270TH ST
6	318500	0030	04/23/03	\$295,000	1870	620	8	1982	3	13500	N	N	27108 46TH AV S
6	383220	0070	05/05/04	\$224,000	1010	430	7	1968	4	7140	N	N	4656 S 254TH ST
6	383230	0150	11/20/03	\$178,000	1200	0	7	1967	3	8250	N	N	4613 S 256TH ST
6	383230	0250	09/25/03	\$193,500	1780	0	7	1967	3	19584	N	N	4708 S 256TH ST
6	383230	0290	02/23/04	\$185,500	980	0	7	1967	4	8750	N	N	4614 S 256TH ST
6	383230	0300	07/12/03	\$159,000	1390	0	7	1967	3	8680	N	N	4608 S 256TH ST
6	383231	0250	11/17/04	\$257,950	1200	900	7	1980	3	10195	N	N	25651 44TH AV S
6	383231	0270	09/15/03	\$245,950	1260	300	7	1980	4	7288	N	N	25639 44TH AV S
6	383231	0400	04/23/03	\$185,000	1330	0	7	1981	3	7293	N	N	4514 S 257TH ST
6	383231	0470	08/19/04	\$220,000	1240	530	7	1979	3	7331	N	N	25636 46TH AV S
6	383250	0170	09/15/03	\$222,500	1110	690	7	1962	3	7656	N	N	3631 S 263RD ST
6	383250	0230	12/13/04	\$261,500	2140	0	7	1963	3	8800	N	N	26228 33RD AV S
6	383250	0250	09/10/03	\$246,000	1110	950	7	1963	3	7700	N	N	26214 33RD AV S
6	383250	0320	01/23/03	\$220,000	1300	1110	7	1963	3	8250	N	N	3431 S 262ND ST
6	383250	0620	02/23/04	\$235,000	1160	220	7	1970	3	11850	N	N	26243 33RD AV S
6	383250	0630	02/24/04	\$195,000	1100	860	7	1962	3	10430	N	N	26235 33RD AV S
6	383250	0640	10/13/04	\$276,785	1110	750	7	1963	3	10143	N	N	26229 33RD AV S
6	383250	0800	11/19/03	\$224,000	1130	0	7	1968	3	9028	N	N	3524 S 262ND ST
6	383250	0840	06/08/04	\$239,950	1130	1010	7	1969	3	9798	N	N	3622 S 262ND ST
6	383250	0890	06/17/04	\$249,950	1280	1200	7	1976	4	9590	N	N	3658 S 262ND ST
6	383250	0900	03/03/03	\$227,950	1330	470	7	1976	4	9590	N	N	3664 S 262ND ST
6	383260	0110	04/25/03	\$220,000	1170	600	7	1973	4	10000	N	N	26247 39TH PL S
6	383260	0150	11/02/04	\$257,950	2490	0	7	1972	3	6325	N	N	26266 39TH PL S
6	383260	0270	06/18/04	\$232,000	1090	0	7	1978	3	7150	N	N	4041 S 262ND ST
6	383260	0280	03/29/04	\$227,500	1080	700	7	1978	3	7150	N	N	4051 S 262ND ST

**Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
6	383270	0040	06/23/03	\$225,000	1340	750	8	1975	3	8000	Y	N	26410 40TH AV S
6	383270	0070	05/06/04	\$226,800	1230	250	8	1974	3	9900	N	N	4005 S 262ND PL
6	383270	0100	05/12/04	\$238,000	1230	250	7	1974	3	7038	N	N	4025 S 262ND PL
6	383270	0130	07/27/04	\$268,975	1510	300	8	1977	3	6900	N	N	26255 41ST PL S
6	383271	0020	12/01/04	\$245,000	1150	700	7	1978	3	7000	N	N	26213 42ND AV S
6	383271	0110	02/20/03	\$243,600	1530	960	8	1978	3	8250	N	N	26302 42ND AV S
6	383271	0140	05/28/04	\$250,000	1240	620	8	1978	3	7150	N	N	26214 42ND AV S
6	383271	0160	06/03/03	\$205,000	1160	420	8	1978	3	7678	N	N	26207 43RD AV S
6	383271	0170	05/27/04	\$221,000	1130	250	8	1978	3	7150	N	N	26213 43RD AV S
6	383271	0190	11/14/03	\$205,000	1130	250	8	1978	3	7150	N	N	26227 43RD AV S
6	383271	0340	03/12/03	\$190,300	1100	600	7	1980	3	7126	N	N	4503 S 263RD ST
6	383271	0560	05/13/03	\$225,000	1230	410	7	1978	4	9448	N	N	4410 S 262ND ST
6	383271	0570	07/17/03	\$243,300	1230	860	7	1978	3	11263	N	N	4330 S 262ND ST
6	383271	0660	12/19/03	\$214,950	1220	460	7	1978	3	7472	N	N	26208 43RD AV S
6	383271	0670	08/30/04	\$259,950	1230	490	7	1978	3	7330	N	N	4315 S 262ND ST
6	383271	0680	05/24/04	\$223,400	1040	500	7	1978	3	7575	N	N	26209 43RD PL S
6	383271	0710	09/03/04	\$224,000	1140	500	7	1977	3	7472	N	N	26231 43RD PL S
6	383271	0740	10/10/03	\$217,000	1040	500	7	1978	3	7366	N	N	26210 43RD PL S
6	383271	0810	06/09/04	\$228,000	1670	0	7	1978	3	7658	N	N	26212 44TH PL S
6	383271	0920	05/25/04	\$240,500	1240	430	7	1978	3	7209	N	N	4504 S 263RD ST
6	383271	0950	05/29/03	\$225,000	1240	570	7	1978	3	7209	N	N	4418 S 263RD ST
6	383271	0990	05/12/03	\$224,500	1540	1490	7	1978	3	7209	N	N	4324 S 263RD ST
6	383271	1010	11/06/03	\$225,000	1240	570	7	1977	3	7636	Y	N	26242 43RD AV S
6	383271	1030	01/20/04	\$240,000	1240	570	7	1978	3	7000	N	N	26230 43RD AV S
6	432450	0090	03/15/04	\$173,000	1000	0	7	1959	3	8400	N	N	24527 36TH AV S
6	432450	0140	06/22/04	\$224,950	1940	0	7	1959	3	7350	N	N	24512 35TH PL S
6	432450	0250	07/25/03	\$164,000	1090	0	7	1959	3	7490	N	N	24607 35TH PL S
6	432450	0270	03/24/04	\$169,950	1350	0	7	1959	3	7350	N	N	24531 35TH PL S
6	432450	0320	01/15/03	\$216,500	1210	500	7	1961	3	8030	N	N	24504 35TH AV S
6	432450	0340	03/18/04	\$214,285	1210	670	7	1961	3	7700	N	N	24520 35TH AV S
6	432450	0430	08/05/03	\$207,500	1300	0	7	1961	4	8250	N	N	24722 35TH AV S

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Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
6	432450	0470	09/17/03	\$196,000	1060	500	7	1960	4	9600	N	N	24717 35TH AV S
6	533570	0160	02/13/04	\$188,000	1320	0	7	1961	3	9600	N	N	3315 S 268TH ST
6	666901	0090	03/17/03	\$245,950	1920	440	8	1978	3	7210	N	N	3712 S 257TH ST
6	666901	0140	11/26/03	\$235,000	1220	810	8	1977	3	7210	N	N	25610 36TH PL S
6	666901	0190	06/06/03	\$184,900	1220	290	8	1978	3	8820	N	N	25625 36TH PL S
6	666901	0280	11/02/04	\$275,000	1440	450	8	1977	3	8075	N	N	25712 36TH PL S
6	666901	0310	04/28/03	\$240,000	1330	900	8	1977	3	13500	N	N	3711 S 257TH ST
6	666901	0320	03/24/04	\$265,000	1440	0	8	1977	3	8800	N	N	3713 S 257TH ST
6	666902	0020	06/19/03	\$221,500	1500	560	8	1978	3	8400	N	N	25220 37TH PL S
6	666902	0070	10/18/04	\$264,900	1220	440	8	1979	3	7200	N	N	25207 37TH PL S
6	666902	0400	08/03/04	\$255,000	1240	940	8	1978	3	7350	N	N	3630 S 255TH PL
6	666902	0430	05/19/04	\$230,000	1200	380	8	1978	3	8190	N	N	25507 36TH PL S
6	666902	0570	04/26/04	\$249,000	1440	1050	8	1978	3	8988	N	N	3732 S 254TH PL
6	666902	0610	11/26/03	\$202,100	1570	0	8	1978	4	7760	N	N	25340 36TH PL S
6	666902	0670	11/12/04	\$230,500	1610	560	8	1979	3	7350	N	N	3713 S 253RD ST
6	677780	0040	08/04/03	\$228,000	1740	0	7	1978	3	10980	N	N	25215 LAKE FENWICK RD S
6	677780	0070	03/24/03	\$231,100	1400	190	7	1962	3	11000	N	N	25218 45TH PL S
6	714640	0150	11/19/03	\$260,000	1200	560	7	1961	4	14600	Y	N	4316 S 239TH PL
6	714940	0040	02/24/03	\$250,000	1190	360	7	1977	3	6992	N	N	3507 S 260TH ST
6	714940	0180	11/12/04	\$274,950	1380	910	7	1977	3	7200	N	N	3417 S 261ST ST
6	714940	0250	07/12/04	\$235,000	1190	840	7	1977	3	7130	N	N	3524 S 261ST PL
6	714940	0310	07/30/03	\$221,000	1230	360	7	1977	3	7015	N	N	3422 S 261ST PL
6	714940	0320	04/20/04	\$220,000	1260	430	7	1977	3	7015	N	N	3414 S 261ST PL
6	714940	0360	09/21/04	\$235,000	1180	360	7	1977	3	6325	N	N	3322 S 261ST PL
6	714940	0430	08/05/03	\$204,400	1390	430	7	1977	3	7081	N	N	3415 S 261ST PL
6	714940	0470	05/18/04	\$260,000	1370	740	7	1977	3	7081	N	N	3511 S 261ST PL
6	714940	0490	08/25/03	\$206,500	1370	600	7	1977	3	8051	N	N	3525 S 261ST PL
6	714941	0050	06/22/04	\$178,500	1250	0	6	1978	3	7560	N	N	4030 S 261ST ST
6	714941	0060	10/05/04	\$193,770	1250	0	6	1978	3	7200	N	N	4022 S 261ST ST
6	714941	0190	06/11/04	\$189,520	1250	0	6	1978	3	7350	N	N	26110 36TH AV S
6	714941	0210	04/01/04	\$167,000	1030	0	6	1978	3	7700	N	N	3611 S 261ST ST

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Area 27
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
6	714941	0220	02/17/04	\$177,000	1250	0	6	1978	3	11760	N	N	3619 S 261ST ST
6	714941	0240	10/08/03	\$165,000	1030	0	6	1978	3	9310	N	N	3635 S 261ST ST
6	714941	0260	02/26/04	\$169,900	1030	0	6	1978	3	7455	N	N	3803 S 261ST ST
6	714941	0290	06/11/04	\$168,500	1030	0	6	1978	3	7171	N	N	3827 S 261ST ST
6	763340	0010	03/22/04	\$160,000	1020	0	7	1961	3	9108	N	N	25605 33RD AV S
6	763340	0050	12/10/04	\$203,300	1240	0	7	1960	3	9108	N	N	25805 33RD AV S
6	763340	0050	03/21/03	\$179,750	1240	0	7	1960	3	9108	N	N	25805 33RD AV S
6	763350	0040	06/30/03	\$210,500	1250	1250	7	1962	3	12080	N	N	25625 32ND PL S
6	780630	0020	12/09/04	\$256,000	1140	1140	7	1968	3	12410	N	N	3803 S 243RD ST
6	796770	0040	04/28/03	\$214,950	960	600	7	1980	3	7927	N	N	3530 S 269TH ST
6	796770	0080	04/08/03	\$211,900	1210	780	7	1980	3	7947	N	N	26906 36TH CT S
6	796770	0120	06/28/04	\$274,450	1430	450	8	1985	3	10397	N	N	26919 36TH CT S
6	796770	0260	04/09/03	\$224,300	1020	730	7	1981	3	6697	N	N	27022 35TH AV S
6	796770	0330	05/17/04	\$223,000	1440	530	8	1985	3	9601	N	N	27020 36TH PL S
6	796770	0460	06/11/04	\$225,000	1010	640	7	1981	3	6876	N	N	3607 S 271ST ST
6	796770	0490	10/20/03	\$169,500	970	0	7	1981	3	6728	N	N	27114 35TH LN S
6	796770	0630	02/25/04	\$217,000	1020	600	7	1981	3	7210	N	N	26909 35TH AV S
6	796860	0035	08/12/03	\$184,000	1320	0	7	1961	4	10220	N	N	26846 MILITARY RD S
6	807540	0400	11/04/03	\$165,000	1050	0	6	1954	3	20000	N	N	23830 38TH AV S
6	807540	0470	07/11/03	\$209,000	1760	0	7	1955	3	17550	N	N	23821 41ST AV S
6	807540	0510	10/28/03	\$199,500	1480	0	6	1955	3	18000	N	N	3931 S 238TH ST
6	807540	0660	07/30/03	\$186,000	1360	0	6	1954	4	15750	N	N	23930 MILITARY RD S
6	885760	0040	03/22/04	\$192,000	1440	0	7	1959	4	9600	N	N	3545 S 244TH ST
6	885760	0160	01/28/04	\$165,000	1460	0	7	1961	2	8023	N	N	24203 36TH AV S
6	885760	0200	07/29/04	\$195,150	1400	0	7	1961	4	7881	N	N	24021 36TH AV S
6	885760	0250	08/13/03	\$165,000	1200	0	7	1961	3	7313	N	N	24020 35TH PL S
6	885760	0260	09/23/03	\$180,000	1700	0	7	1961	4	7313	N	N	24104 35TH PL S
6	885760	0270	04/15/03	\$161,000	1440	0	7	1961	3	7313	N	N	24110 35TH PL S
6	885760	0290	10/02/03	\$198,000	1720	0	7	1961	3	7313	N	N	24204 35TH PL S
6	885760	0380	07/09/03	\$150,000	1150	0	7	1959	3	7384	N	N	24334 35TH PL S
6	885760	0440	02/18/03	\$166,000	960	0	7	1959	4	7875	N	N	24426 35TH PL S

Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
6	885760	0550	02/20/04	\$189,950	1070	750	7	1960	3	7650	N	N	24301 35TH PL S
6	885760	0550	05/19/03	\$167,500	1070	750	7	1960	3	7650	N	N	24301 35TH PL S
6	885760	0650	07/14/04	\$215,000	1790	0	7	1962	3	7840	N	N	24005 35TH PL S
6	885760	0660	03/03/03	\$152,450	960	0	7	1961	3	8058	N	N	24004 35TH AV S
6	885760	0950	03/13/03	\$177,000	1360	0	7	1960	3	8050	N	N	24325 35TH AV S
6	885760	0980	11/23/04	\$178,300	940	0	7	1960	4	8023	N	N	24303 35TH AV S
6	885760	1040	12/20/04	\$210,000	1070	0	7	1962	3	7881	N	N	24119 35TH AV S
6	886000	0005	10/17/03	\$172,500	1030	0	7	1955	3	9600	N	N	3602 S 241ST ST
6	886000	0030	11/08/04	\$242,250	1730	0	7	1955	3	9040	N	N	3605 S 241ST ST
6	886000	0070	08/07/03	\$180,000	1030	0	7	1955	4	9120	N	N	3612 S 242ND ST
6	886020	0025	04/02/03	\$195,950	1620	0	7	1956	4	14400	N	N	4130 S 239TH ST
6	926590	0010	10/29/04	\$210,000	1150	0	7	1982	3	8062	N	N	3610 S 243RD ST
6	939250	0030	07/09/04	\$265,000	1400	700	7	1961	4	9516	N	N	26819 37TH AV S
6	939250	0290	10/31/03	\$215,000	1390	780	7	1961	3	9600	N	N	3902 S 269TH ST
6	948578	0070	08/18/04	\$275,000	1890	0	8	1992	3	7477	N	N	27026 CARDIFF AV
6	948578	0080	04/24/04	\$279,950	2130	0	8	1992	3	9530	N	N	27024 CARDIFF AV
6	948578	0110	06/17/03	\$293,000	2560	0	9	1992	3	7350	N	N	27010 CARDIFF AV
6	983580	0310	04/21/03	\$214,500	1470	0	8	1967	3	8750	N	N	25225 32ND PL S
6	983580	0690	09/17/03	\$206,500	1450	0	8	1968	3	7070	N	N	3232 S 256TH ST
6	983580	0750	06/23/04	\$234,900	1180	460	8	1968	4	7630	N	N	25404 32ND PL S
6	983580	0800	02/05/03	\$187,000	1330	460	8	1967	3	7000	N	N	3323 S 253RD ST
6	983580	0900	02/03/03	\$199,950	1160	400	8	1967	3	7560	N	N	25415 35TH PL S
6	983580	0980	06/24/04	\$228,000	1600	0	8	1968	3	6325	N	N	25411 34TH PL S
6	983580	1130	04/13/04	\$223,000	1180	340	8	1968	3	7630	N	N	25413 33RD PL S
6	983580	1310	07/02/04	\$202,000	1560	0	7	1967	3	7000	N	N	3406 S 253RD ST
6	983610	0100	03/12/04	\$225,000	1430	510	7	1976	3	6000	N	N	3431 S 257TH ST
9	026940	0090	09/10/03	\$167,950	980	0	7	1964	3	9775	N	N	28100 45TH AV S
9	026940	0110	07/06/04	\$185,000	980	0	7	1964	2	11000	N	N	4519 S 281ST ST
9	026940	0160	07/25/03	\$186,000	1440	0	7	1965	4	9900	N	N	28004 45TH AV S
9	026940	0180	10/17/03	\$154,500	980	0	7	1964	3	9000	N	N	28020 45TH AV S
9	026950	0120	10/31/03	\$192,000	1530	580	7	1968	3	9675	N	N	28301 45TH AV S

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Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
9	026950	0200	12/01/04	\$195,000	1420	0	6	2002	3	8200	N	N	4529 S 283RD ST
9	154750	0040	10/22/04	\$274,950	2240	0	8	1990	3	7518	N	N	4718 S 284TH PL
9	154750	0070	10/13/04	\$270,000	2120	0	8	1990	3	8071	N	N	4704 S 284TH PL
9	154760	0040	04/23/04	\$250,000	1460	0	6	1978	3	14950	N	N	28238 46TH AV S
9	154760	0101	11/15/04	\$312,000	2432	0	7	2002	3	11832	N	N	4836 S 288TH ST
9	163460	0075	09/15/03	\$275,000	1640	1360	7	1967	3	38042	N	N	3511 S STAR LAKE RD
9	259565	0070	06/25/04	\$310,000	1920	0	8	1993	3	9920	N	N	27739 48TH AV S
9	259565	0100	11/29/04	\$330,000	2140	0	8	1993	3	10316	N	N	27721 48TH AV S
9	259565	0270	04/22/04	\$329,000	2190	0	8	1993	3	11065	N	N	27818 50TH PL S
9	259565	0280	11/07/03	\$327,500	2190	0	8	1993	3	11336	N	N	27824 50TH PL S
9	259565	0300	05/17/04	\$275,000	1720	0	8	1993	3	11244	N	N	27829 50TH PL S
9	259565	0320	05/28/04	\$317,500	2140	0	8	1993	3	11116	N	N	27817 50TH PL S
9	259565	0390	04/21/03	\$269,950	1880	0	8	1993	3	11249	N	N	27827 49TH AV S
9	259565	0750	06/09/03	\$375,000	2230	1100	9	1993	3	40975	N	N	27802 52ND AV S
9	298950	0020	03/11/04	\$309,500	2180	0	9	2001	3	6153	N	N	27607 44TH PL S
9	298950	0060	12/12/03	\$315,000	2100	0	9	2001	3	6808	N	N	27627 44TH PL S
9	298950	0080	09/04/03	\$287,000	1990	0	9	2001	3	7275	N	N	27645 44TH PL S
9	298950	0140	02/10/03	\$324,950	2250	0	9	2002	3	8522	N	N	27624 44TH PL S
9	332204	9147	03/27/03	\$210,000	1500	830	7	1962	3	16117	N	N	27529 MILITARY RD S
9	342204	9033	07/28/04	\$550,000	2690	0	9	1993	3	103672	Y	Y	28329 41ST AV S
9	342204	9096	09/09/04	\$555,000	1680	1200	8	1978	3	18760	Y	Y	3841 S 272ND ST
9	342204	9150	01/14/03	\$193,000	1720	0	7	1959	3	14661	N	N	3424 S 288TH ST
9	342204	9152	11/04/03	\$205,000	1520	0	7	1955	4	16875	Y	N	3225 S 276TH ST
9	342204	9174	02/05/03	\$166,000	1190	0	6	1960	3	6291	N	N	27622 32ND PL S
9	342204	9190	09/25/03	\$182,000	1720	0	8	1967	3	15681	N	N	4417 S 272ND ST
9	342204	9222	10/18/04	\$290,500	1670	0	8	1983	4	22860	N	N	27832 32ND PL S
9	342204	9233	06/30/03	\$479,000	3430	0	9	1985	3	21344	Y	N	4904 S 273RD PL
9	342204	9240	10/17/03	\$124,000	1070	0	5	1940	4	13230	N	N	3817 S 282ND ST
9	342204	9274	05/17/04	\$208,000	880	0	5	1937	5	22430	N	Y	27423 42ND AV S
9	342204	9276	09/23/04	\$265,000	1880	0	8	1988	3	36000	N	N	27838 32ND PL S
9	342204	9291	10/21/04	\$335,000	2310	0	8	2004	3	8312	N	N	3212 S STAR LAKE RD

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Area 27
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Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
9	352204	9036	06/03/04	\$300,000	1810	0	7	1994	3	65340	N	N	28507 53RD AV S
9	387390	0010	08/26/03	\$168,500	1300	0	7	1962	3	12126	N	N	4114 S 288TH ST
9	387390	0110	03/03/04	\$159,990	1430	0	7	1962	3	9600	N	N	3818 S 288TH ST
9	387390	0180	08/12/04	\$194,950	1170	0	7	1962	3	9680	N	N	3825 S 287TH ST
9	387390	0200	11/03/03	\$178,000	1430	0	7	1962	3	9680	N	N	3805 S 287TH ST
9	387390	0270	07/27/04	\$202,000	1470	0	7	1961	3	9600	N	N	28717 37TH PL S
9	387390	0300	08/25/03	\$210,000	1420	300	7	1962	3	9926	N	N	28617 37TH PL S
9	387400	0010	07/10/03	\$174,000	1070	0	7	1962	3	9719	N	N	28611 37TH PL S
9	387400	0020	05/24/04	\$202,950	1070	0	7	1962	3	9692	N	N	28603 37TH PL S
9	387400	0020	07/28/03	\$180,000	1070	0	7	1962	3	9692	N	N	28603 37TH PL S
9	387400	0030	11/12/04	\$190,000	1070	0	7	1962	3	10632	N	N	28533 37TH PL S
9	387400	0350	12/17/03	\$193,050	1340	0	7	1962	4	9514	N	N	3703 S 286TH ST
9	387401	0050	11/09/04	\$235,000	1710	0	7	1987	3	9739	N	N	28506 41ST AV S
9	387401	0090	06/09/04	\$212,500	1660	0	7	1987	3	9650	N	N	28429 41ST AV S
9	387401	0120	08/18/03	\$237,000	2470	0	7	1987	3	9613	N	N	3917 S 284TH PL
9	387401	0150	06/24/03	\$215,000	1550	0	7	1988	3	9633	N	N	3829 S 284TH PL
9	387401	0210	08/27/04	\$231,699	1690	0	7	1989	3	9635	N	N	3709 S 284TH PL
9	387401	0310	12/20/04	\$211,825	1050	0	7	1987	3	9600	N	N	28505 39TH AV S
9	387401	0340	06/18/03	\$188,000	1390	0	7	1987	3	9609	N	N	28512 39TH AV S
9	387401	0470	11/26/03	\$216,000	1210	330	7	1981	3	7411	N	N	3611 S 285TH PL
9	387401	0500	09/09/03	\$184,000	1380	0	7	1981	3	7400	N	N	28528 36TH AV S
9	387401	0520	04/25/03	\$189,500	1440	0	7	1981	3	7400	N	N	28540 36TH AV S
9	387401	0630	09/29/04	\$239,000	1210	480	8	1988	3	7948	N	N	28509 36TH AV S
9	387401	0630	07/28/04	\$222,500	1210	480	8	1988	3	7948	N	N	28509 36TH AV S
9	387401	0650	11/25/03	\$250,000	1260	1250	7	1988	3	8016	N	N	3600 S 285TH PL
9	387401	0670	09/02/03	\$240,000	1380	1350	7	1990	3	7200	N	N	3610 S 285TH PL
9	387401	0710	03/03/03	\$201,250	1570	0	7	1987	3	9740	N	N	28417 37TH AV S
9	387401	0800	09/18/03	\$239,000	1280	1280	7	1988	3	11646	N	N	28511 40TH AV S
9	397760	0020	10/01/04	\$190,700	1160	0	7	1968	4	7030	N	N	4712 S 285TH PL
9	397760	0050	10/11/04	\$183,900	1210	0	7	1968	3	7030	N	N	4626 S 285TH PL
9	397760	0250	04/19/04	\$173,000	1200	0	7	1968	3	5525	N	N	28715 47TH PL S

**Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
9	397760	0450	01/28/03	\$176,500	1680	0	7	1968	2	7350	N	N	28707 48TH AV S
9	397760	0470	02/05/04	\$183,950	1210	0	7	1968	3	7350	N	N	28723 48TH AV S
9	397760	0510	06/03/04	\$203,022	1820	0	7	1963	3	21056	N	N	4612 S 288TH ST
9	418010	0010	08/04/03	\$240,000	1750	0	8	1992	3	6966	N	N	3111 S 273RD ST
9	418010	0040	10/22/04	\$243,200	1700	0	8	1992	3	7853	N	N	3121 S 273RD ST
9	418010	0220	09/03/03	\$285,000	2130	700	8	1993	3	8999	N	N	3110 S 273RD ST
9	418011	0040	06/07/04	\$257,750	1890	0	8	1994	3	6001	N	N	27228 32ND PL S
9	440115	0200	07/19/04	\$316,450	2370	0	8	1999	3	6168	N	N	4455 S 275TH PL
9	440115	0210	11/11/04	\$303,000	2290	0	8	1999	3	5792	N	N	4451 S 275TH PL
9	440115	0210	03/26/03	\$272,000	2290	0	8	1999	3	5792	N	N	4451 S 275TH PL
9	440115	0270	10/05/04	\$318,950	2460	0	8	1998	3	7143	N	N	4415 S 275TH PL
9	546210	0140	04/23/03	\$178,900	1320	0	7	1963	3	10360	N	N	28464 49TH PL S
9	546210	0190	11/08/04	\$205,700	1190	0	7	1964	3	11050	N	N	28449 50TH AV S
9	546220	0010	06/07/04	\$195,000	1530	0	7	1963	3	9250	N	N	28510 50TH AV S
9	546220	0060	01/13/03	\$153,000	1320	0	7	1963	3	9855	N	N	4910 S 287TH ST
9	720590	0050	07/22/03	\$262,000	2040	0	7	1973	3	32890	N	N	27229 45TH PL S
9	720590	0080	05/24/04	\$205,000	1100	510	7	1978	3	15616	N	N	27204 45TH PL S
9	723759	0090	04/27/04	\$195,000	1320	0	7	2004	3	3961	N	N	27808 31ST PL S
9	723759	0100	06/18/04	\$195,500	1320	0	7	2004	3	3569	N	N	3070 S 278TH PL
9	723759	0110	12/22/04	\$218,950	1430	0	7	2004	3	2796	N	N	3064 S 278TH PL
9	723759	0120	06/28/04	\$223,450	1980	0	7	2004	3	2638	N	N	3060 S 278TH PL
9	723759	0240	08/25/04	\$227,950	1650	0	7	2004	3	2886	N	N	27925 30TH WY S
9	723759	0250	08/25/04	\$190,350	1430	0	7	2004	3	2145	N	N	27931 30TH WY S
9	723759	0260	08/24/04	\$191,607	1410	0	7	2004	3	1925	N	N	27937 30TH WY S
9	723759	0280	08/03/04	\$221,955	1650	0	7	2004	3	2583	N	N	3059 S 279TH PL
9	723759	0290	07/27/04	\$222,717	1650	0	7	2004	3	2475	N	N	3065 S 279TH PL
9	723759	0300	06/02/04	\$187,000	1410	0	7	2004	3	1927	N	N	3071 S 279TH PL
9	723759	0310	04/16/04	\$217,000	1650	0	7	2004	3	2927	N	N	3077 S 279TH PL
9	723759	0380	05/20/04	\$219,000	1650	0	7	2004	3	3253	N	N	27923 31ST PL S
9	723759	0390	05/27/04	\$186,950	1410	0	7	2004	3	3176	N	N	27917 31ST PL S
9	723759	0430	08/11/04	\$189,445	1409	0	7	2004	3	2963	N	N	3057 S 278TH PL

**Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
9	723759	0440	06/24/04	\$172,900	1150	0	7	2004	3	1375	N	N	3049 S 278TH PL
9	723759	0450	07/01/04	\$215,350	1650	0	7	2004	3	3025	N	N	3043 S 278TH PL
9	735100	0030	05/11/04	\$315,000	2320	0	9	1962	3	11175	N	N	3709 S STAR LAKE RD
9	735100	0100	05/17/04	\$295,000	2280	0	8	1984	3	15880	N	N	27843 38TH PL S
9	743620	0060	08/11/04	\$270,000	2270	0	8	1965	3	9652	N	N	28619 51ST PL S
9	743620	0130	05/26/04	\$249,950	1360	880	8	1965	3	9692	N	N	28616 51ST PL S
9	743620	0150	09/17/03	\$211,950	1190	260	7	1964	3	9679	N	N	28634 51ST PL S
9	796720	0010	08/19/04	\$215,000	1060	0	7	1981	3	12220	N	N	4202 S 273RD PL
9	796720	0210	03/01/04	\$254,950	1560	0	7	1981	3	14208	N	N	4217 S 273RD PL
9	796720	0280	06/23/04	\$205,000	1490	0	7	1978	3	9100	N	N	27537 43RD AV S
9	796720	0310	05/23/03	\$201,000	1540	0	7	1978	3	12870	N	N	27517 43RD AV S
9	796720	0420	04/24/03	\$200,000	1490	0	7	1978	3	11000	N	N	4313 S 275TH CT
9	796760	0085	08/07/03	\$257,500	1900	0	7	1997	3	11250	N	N	3417 S 280TH ST
9	796760	0222	05/07/04	\$210,000	1100	0	6	1920	4	49222	N	N	27634 42ND AV S
9	796760	0225	04/22/04	\$160,500	1010	0	6	1959	3	15000	N	N	4221 S STAR LAKE RD
9	796760	0236	08/30/04	\$252,950	1320	1200	7	1962	4	16679	N	N	27616 43RD PL S
9	796760	0265	02/11/03	\$230,000	1750	380	8	1984	3	14705	N	N	27833 46TH AV S
9	796760	0294	12/08/04	\$256,500	1280	420	8	1966	3	11980	N	N	4216 S 280TH ST
9	796765	0020	05/21/04	\$325,000	2830	0	8	2001	3	13017	N	N	28010 39TH AV S
9	796765	0050	12/01/04	\$322,500	2700	0	8	2001	3	6342	N	N	28038 39TH AV S
9	796765	0080	07/12/04	\$313,500	2000	0	8	2001	3	7752	N	N	28054 39TH AV S
9	796778	0050	05/23/03	\$213,850	1390	0	7	1993	3	6219	N	N	4029 S 277TH PL
9	796778	0110	11/22/04	\$230,000	1370	0	7	1993	3	6702	N	N	4022 S 277TH PL
9	796778	0110	06/03/03	\$196,500	1370	0	7	1993	3	6702	N	N	4022 S 277TH PL
9	796790	0010	06/09/03	\$239,950	2030	0	8	1989	3	9591	N	N	27935 36TH AV S
9	796790	0130	11/09/04	\$330,500	2870	0	8	1989	3	9182	N	N	27936 36TH AV S
9	796800	0010	09/28/04	\$196,000	1500	0	7	1967	3	7989	N	N	3033 S STAR LAKE RD
9	796800	0011	05/05/04	\$250,000	2050	0	8	2004	3	3575	N	N	27801 30TH PL S
9	796800	0012	07/15/04	\$248,319	2050	0	8	2004	3	5900	N	N	27805 30TH PL S
9	796800	0040	11/24/03	\$145,000	1040	0	7	1982	3	10650	N	N	3055 S STAR LAKE RD
9	796800	0080	08/15/03	\$285,000	2730	0	9	1995	3	10650	N	N	3050 S STAR LAKE RD

Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
9	796800	0120	04/25/03	\$215,000	1200	800	7	1968	3	13300	N	N	3026 S STAR LAKE RD
9	796800	0130	02/25/04	\$240,000	1200	600	7	1968	3	12040	N	N	3020 S STAR LAKE RD
9	887400	0010	04/15/04	\$383,500	1300	810	8	1949	4	14989	N	Y	3229 S 273RD PL
9	887400	0030	10/26/04	\$289,950	1890	0	8	1998	3	4810	N	N	27249 33RD AV S
9	887400	0080	10/24/03	\$251,000	1900	0	8	1998	3	5450	N	N	3227 S 272ND PL
9	951093	0010	08/05/04	\$417,500	3050	0	9	2004	3	9613	Y	N	28208 54TH AV S
9	951093	0020	11/11/03	\$403,000	2730	0	9	2000	3	8837	Y	N	28344 54TH AV S
9	951093	0030	11/23/04	\$404,000	2650	0	9	2000	3	7833	Y	N	28336 54TH AV S
9	951093	0060	02/05/03	\$360,000	2040	840	9	2001	3	9124	Y	N	28312 54TH AV S
9	951093	0080	01/02/03	\$389,500	2110	920	9	2002	3	9968	Y	N	28224 54TH AV S
9	951093	0090	04/08/03	\$389,900	2080	1050	9	2002	3	10837	Y	N	28216 54TH AV S
9	951093	0100	09/11/03	\$402,000	2110	920	9	2003	3	9671	Y	N	28208 54TH AV S
9	951093	0150	07/24/03	\$359,900	2880	0	9	2002	3	7987	Y	N	28309 54TH AV S
9	951093	0220	01/22/04	\$354,000	1690	1100	9	2001	3	8712	Y	N	5307 S 283RD CT
9	951093	0320	11/24/04	\$380,000	2650	0	9	2000	3	7060	N	N	5110 S 283RD PL
9	951093	0390	03/01/04	\$389,900	2650	0	9	2001	3	9079	N	N	4904 S 283RD PL
9	951093	0410	08/11/03	\$375,900	2730	0	9	2001	3	9701	N	N	4816 S 283RD PL
9	951093	0430	06/22/04	\$379,990	2250	0	9	2001	3	9387	N	N	4802 S 283RD PL
9	951093	0460	03/16/04	\$389,000	2650	0	9	2001	3	9121	N	N	4817 S 283RD PL
9	951093	0480	03/26/03	\$354,900	2650	0	9	2001	3	9050	N	N	4903 S 283RD PL
9	951093	0540	08/14/03	\$390,000	3220	0	9	2000	3	8785	N	N	5031 S 283RD PL
9	951093	0580	04/02/03	\$377,900	3220	0	9	2003	3	7002	N	N	28351 52ND AV S
9	951093	0590	03/26/03	\$359,900	2710	0	9	2003	3	7002	N	N	28401 52ND AV S
9	951096	0010	05/23/03	\$341,999	2440	0	9	2003	3	7825	N	N	5237 S 283RD ST
9	951096	0030	08/25/03	\$387,900	3220	0	9	2002	3	8290	N	N	5221 S 283RD ST
9	951096	0040	06/23/03	\$359,989	2710	0	9	2003	3	9488	N	N	5213 S 283RD ST
9	951096	0050	08/18/03	\$412,000	2080	1140	9	2003	3	7291	N	N	28312 52ND AV S
9	951096	0090	08/23/03	\$367,790	2730	0	9	2003	3	8745	N	N	5220 S 283RD ST
9	951096	0100	12/01/04	\$413,900	2710	0	9	2003	3	8605	N	N	5228 S 283RD ST
9	951096	0110	09/26/03	\$359,500	1780	1010	9	2002	3	8712	N	N	5323 S 282ND WY
9	951096	0130	06/24/03	\$406,710	3010	0	9	2003	3	7520	N	N	28220 52ND AV S

**Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
9	951096	0140	05/15/03	\$364,900	2730	0	9	2003	3	7534	N	N	28212 52ND AV S
9	951096	0150	03/02/04	\$365,000	2380	0	9	2003	3	7634	N	N	28204 52ND AV S
9	951096	0170	03/12/03	\$394,500	3200	0	9	2002	3	7656	N	N	5316 S 282ND WY
9	951096	0210	05/06/04	\$387,500	2670	0	9	2003	3	7377	N	N	28219 52ND AV S
9	951096	0230	02/25/03	\$371,900	2650	0	9	2003	3	7180	N	N	28235 52ND AV S
9	951096	0250	08/22/03	\$384,500	3050	0	9	2003	3	6857	N	N	28315 52ND AV S
9	951096	0260	07/01/04	\$402,900	2710	0	9	2004	3	6599	N	N	28250 51ST PL S
9	951096	0270	07/13/04	\$418,900	3050	0	9	2004	3	6818	N	N	28244 51ST PL S
9	951096	0290	09/24/04	\$409,196	2730	0	9	2004	3	7368	N	N	28232 51ST PL S
9	951096	0300	09/13/04	\$413,500	2660	0	9	2004	3	7464	N	N	28226 51ST PL S
9	951096	0320	06/15/04	\$425,900	2940	0	9	2004	3	7198	N	N	28210 51ST PL S
9	951096	0360	04/06/04	\$413,500	3040	0	9	2003	3	7251	N	N	5130 S 282ND WY
9	951096	0380	07/23/04	\$449,500	3190	0	9	2004	3	8150	N	N	5118 S 282ND WY
9	951096	0390	04/01/04	\$428,200	2940	0	9	2003	3	9901	N	N	5112 S 282ND WY
9	951096	0400	01/13/04	\$407,674	2660	0	9	2003	3	12288	N	N	5106 S 282ND WY
9	951096	0420	05/05/04	\$384,180	1780	1010	9	2004	3	10472	N	N	5115 S 282ND WY
9	951096	0430	03/26/04	\$396,700	2730	0	9	2003	3	11608	N	N	28209 51ST PL S
9	951096	0440	05/18/04	\$418,500	3050	0	9	2003	3	10266	N	N	28217 51ST PL S
9	951096	0450	03/04/04	\$396,700	2730	0	9	2003	3	9316	N	N	28225 51ST PL S
9	951096	0470	03/09/04	\$415,700	3220	0	9	2003	3	8591	N	N	28241 51ST PL S
9	951096	0480	01/21/04	\$380,000	2650	0	9	2003	3	8397	N	N	28249 51ST PL S
9	951096	0490	05/11/04	\$387,200	3050	0	9	2003	3	8083	N	N	28257 51ST PL S
9	951096	0530	02/21/03	\$357,000	2650	0	9	2002	3	8238	N	N	5108 S 284TH PL
9	951096	0550	01/12/04	\$359,900	2920	0	9	2002	3	7391	N	N	5107 S 284TH PL
9	951096	0590	03/08/04	\$414,000	3080	0	9	2002	3	7700	N	N	5131 S 284TH PL
11	022104	9004	06/10/03	\$218,950	1390	600	7	1979	3	10531	N	N	29250 59TH AV S
11	022104	9100	07/08/03	\$200,000	1380	0	7	1958	3	42900	N	N	28808 55TH AV S
11	022104	9101	04/29/04	\$135,000	440	0	5	1918	3	14650	Y	N	29519 59TH AV S
11	022104	9123	11/30/04	\$237,000	1480	480	7	1963	3	17000	N	N	29250 51ST AV S
11	022104	9192	07/23/04	\$250,000	1310	1020	7	1978	3	17100	N	N	29114 55TH AV S
11	022104	9193	03/03/04	\$214,500	1310	0	7	1978	2	16016	N	N	5518 S 292ND ST

**Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
11	022104	9205	10/05/04	\$241,001	1280	860	8	1979	3	14050	N	N	29420 59TH AV S
11	022104	9232	01/06/03	\$229,000	2070	0	8	1998	3	9312	Y	N	5917 S 295TH PL
11	030300	0150	04/03/03	\$174,950	1260	0	7	1968	3	18000	N	N	5628 S 305TH ST
11	030300	0249	05/05/04	\$342,000	1920	0	7	1967	4	39965	N	N	30643 56TH AV S
11	030300	0340	08/20/04	\$205,500	970	680	7	1986	3	17024	N	N	30540 56TH AV S
11	030410	0090	09/20/04	\$224,000	1500	0	7	1999	3	5393	N	N	5719 S 294TH PL
11	111545	0060	08/24/04	\$307,000	1770	450	9	1990	3	9601	N	N	6342 S 298TH PL
11	111545	0110	04/20/04	\$303,000	2630	0	9	1992	3	11135	N	N	6307 S 298TH PL
11	111545	0160	12/23/03	\$292,000	2630	0	9	1992	3	8565	N	N	6327 S 298TH PL
11	111545	0250	02/25/04	\$284,950	2240	0	9	1992	3	10346	N	N	29911 64TH AV S
11	111545	0300	03/31/03	\$283,000	1610	1180	9	1990	3	10605	N	N	6224 S 300TH ST
11	146090	0010	02/11/04	\$302,500	2160	0	8	2004	3	5153	N	N	5500 S 296TH PL
11	146090	0020	09/03/04	\$289,950	2230	0	8	2004	3	4764	N	N	5506 S 296TH PL
11	146090	0040	06/30/04	\$319,950	2400	0	8	2004	3	4763	N	N	29627 55TH PL S
11	146090	0050	11/01/04	\$306,000	2180	0	8	2004	3	4490	N	N	29623 55TH PL S
11	146090	0060	06/24/04	\$318,000	2400	0	8	2004	3	6462	N	N	29619 55TH PL S
11	146090	0070	11/15/04	\$309,950	2180	0	8	2004	3	4975	N	N	29615 55TH PL S
11	146090	0080	11/10/04	\$315,850	2400	0	8	2004	3	5457	N	N	29611 55TH PL S
11	146090	0090	11/08/04	\$319,000	2410	0	8	2004	3	4398	N	N	29607 55TH PI S
11	146090	0100	11/08/04	\$310,000	2180	0	8	2004	3	4398	N	N	2325 S 292ND St
11	146090	0110	08/24/04	\$319,950	2400	0	8	2004	3	4739	N	N	29626 55TH PL S
11	146090	0120	08/05/04	\$295,000	2400	0	8	2004	3	4741	N	N	26932 55TH PL S
11	146090	0130	06/10/04	\$296,000	2230	0	8	2004	3	4744	N	N	26936 55TH PL S
11	146090	0140	11/23/04	\$319,000	2410	0	8	2004	3	4862	N	N	29640 55TH PL S
11	221480	0040	06/09/04	\$240,000	1860	0	7	1980	3	7560	N	N	29512 61ST AV S
11	221480	0050	05/05/03	\$184,500	1530	0	7	1980	3	7392	Y	N	6103 S 295TH CT
11	221480	0100	10/04/04	\$222,300	1060	500	7	1979	3	8034	Y	N	6104 S 295TH CT
11	221480	0150	11/17/04	\$238,775	1440	360	7	1979	3	7800	N	N	6119 S 294TH ST
11	221480	0250	02/18/03	\$190,000	1360	0	7	1980	3	12827	N	N	29201 63RD PL S
11	221480	0530	09/01/04	\$223,888	1280	520	7	1980	3	7200	N	N	6126 S 292ND PL
11	221480	0710	12/15/04	\$265,000	2260	0	7	1979	3	7168	Y	N	29415 61ST AV S

**Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
11	221480	0810	06/24/04	\$225,000	1060	700	7	1979	3	7040	N	N	29409 60TH PL S
11	221480	0830	03/25/04	\$225,000	1060	720	7	1979	3	7260	N	N	29417 60TH PL S
11	221480	0890	04/13/04	\$220,000	1060	720	7	1979	3	8840	N	N	29533 61ST AV S
11	286560	0030	05/21/03	\$211,000	1120	700	7	1979	3	7250	N	N	5115 S 302ND PL
11	286560	0060	11/19/03	\$214,500	1510	430	7	1979	3	9455	N	N	5121 S 302ND PL
11	289555	0010	04/23/04	\$239,500	1700	0	7	2000	3	6479	N	N	5125 S 303RD PL
11	289555	0030	03/23/04	\$238,500	1700	0	7	2000	3	4984	N	N	5133 S 303RD PL
11	289555	0040	06/15/04	\$243,400	1700	0	7	2000	3	4985	N	N	5137 S 303RD PL
11	289555	0050	10/08/03	\$216,500	1550	0	7	2000	3	4486	N	N	5141 S 303RD PL
11	289555	0100	04/15/03	\$194,500	1700	0	7	2000	3	4488	N	N	5161 S 303RD PL
11	289555	0130	04/01/04	\$206,500	1600	0	7	2000	3	4488	N	N	5173 S 303RD PL
11	289555	0150	07/08/03	\$197,500	1700	0	7	2000	3	5523	N	N	5186 S 303RD PL
11	289555	0180	04/21/03	\$200,000	1550	0	7	2000	3	4267	N	N	5174 S 303RD PL
11	289555	0200	01/06/03	\$193,500	1600	0	7	2000	3	4268	N	N	5166 S 303RD PL
11	289555	0210	10/22/04	\$242,500	1700	0	7	2000	3	4268	N	N	5162 S 303RD PL
11	289555	0250	05/23/03	\$211,000	1700	0	7	2000	3	4778	N	N	5146 S 303RD PL
11	289555	0260	06/02/03	\$215,000	1600	0	7	2000	3	4270	N	N	5142 S 303RD PL
11	289555	0290	10/13/03	\$193,500	1700	0	7	2000	3	4746	N	N	5130 S 303RD PL
11	289555	0310	11/04/04	\$243,000	1700	0	7	2000	3	4726	N	N	5118 S 303RD PL
11	332681	0030	04/09/03	\$226,950	1730	0	7	2002	3	3881	N	N	29130 53RD PL S
11	332681	0040	01/25/03	\$220,000	1730	0	7	2002	3	4128	N	N	29124 53RD PL S
11	332681	0080	01/26/04	\$260,000	1940	0	7	2002	3	5641	N	N	29104 53RD PL S
11	332850	0070	08/13/03	\$252,000	2200	0	8	1988	3	10181	N	N	28917 52ND PL S
11	332850	0130	12/26/03	\$275,000	2530	0	8	1987	3	11524	N	N	5112 S 291ST ST
11	332850	0140	05/10/04	\$294,450	2650	0	8	1987	3	10627	N	N	5111 S 291ST ST
11	332850	0160	11/22/04	\$274,999	2210	0	8	1987	3	7512	N	N	5119 S 291ST ST
11	332850	0280	07/25/04	\$276,000	2310	0	8	1987	3	8050	N	N	29110 52ND PL S
11	332850	0410	11/03/04	\$200,000	1920	0	8	1987	3	9750	N	N	5134 S 288TH PL
11	332850	0430	11/04/03	\$285,000	2920	0	8	1987	3	9736	N	N	5122 S 288TH PL
11	332850	0450	03/09/04	\$229,700	1730	0	8	1987	3	10569	N	N	5114 S 288TH PL
11	332950	0180	10/17/03	\$215,000	1200	850	7	1982	3	8415	N	N	29734 52ND AV S

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Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
11	332950	0210	04/15/04	\$245,000	1410	880	7	1982	4	8782	N	N	5214 S 297TH PL
11	332950	0350	07/19/04	\$219,950	1240	0	7	1983	3	8323	N	N	29720 53RD PL S
11	332950	0380	09/24/03	\$215,000	1260	0	7	1983	3	9021	N	N	5324 S 297TH PL
11	332950	0490	11/05/03	\$215,000	1340	670	7	1983	3	8902	N	N	5421 S 296TH CT
11	332950	0500	03/01/04	\$246,000	1390	520	7	1983	3	9531	N	N	5415 S 296TH CT
11	332950	0520	11/11/03	\$209,000	1410	0	7	1983	3	9965	N	N	5422 S 296TH CT
11	332951	0110	10/06/04	\$209,500	1410	0	7	1984	3	6874	N	N	5223 S 298TH CT
11	332951	0230	09/29/03	\$197,000	1410	0	7	1984	3	7473	N	N	5116 S 300TH PL
11	332951	0270	04/22/03	\$178,000	1230	0	7	1984	3	8615	N	N	30005 51ST CT S
11	332951	0290	12/13/04	\$229,888	1290	0	7	1984	3	9111	N	N	30027 51ST CT S
11	332951	0380	05/02/03	\$249,000	2100	0	7	1984	3	9953	N	N	30007 53RD AV S
11	332951	0410	12/02/04	\$229,250	1190	0	7	1984	3	6825	N	N	30103 53RD AV S
11	332951	0600	03/03/03	\$189,950	1410	0	7	1984	3	7642	N	N	30012 53RD AV S
11	332951	0630	08/20/03	\$209,500	1490	0	7	1984	3	7280	N	N	5317 S 300TH PL
11	332951	0770	04/14/03	\$225,000	1180	360	7	1984	3	7285	N	N	29766 52ND PL S
11	332951	0810	11/14/03	\$225,000	1280	410	7	1984	3	7606	N	N	29773 53RD AV S
11	332951	0850	06/04/04	\$235,000	1240	840	7	1984	3	9846	N	N	29772 53RD AV S
11	332952	0010	08/11/04	\$200,650	1170	0	7	1984	3	8141	N	N	29929 53RD PL S
11	332952	0160	11/02/04	\$177,000	1410	0	7	1984	3	7243	N	N	29819 55TH PL S
11	332952	0170	10/14/04	\$231,000	1170	0	7	1984	3	7258	N	N	29817 55TH PL S
11	332952	0340	06/11/04	\$259,950	1390	430	7	1985	3	8258	N	N	5517 S 300TH PL
11	332952	0360	11/20/03	\$220,000	2100	0	7	1985	3	8486	N	N	30018 55TH PL S
11	332952	0390	01/16/04	\$227,000	1180	1100	7	1984	3	8139	N	N	30027 55TH PL S
11	332952	0400	07/22/03	\$194,090	1410	0	7	1984	3	7403	N	N	30021 55TH PL S
11	332953	0150	10/22/03	\$204,950	1410	0	7	1986	3	8591	N	N	5622 S 301ST ST
11	332953	0240	04/07/03	\$204,950	1270	560	7	1986	3	8876	N	N	5711 S 301ST CT
11	332953	0380	01/30/03	\$204,000	1570	0	7	1987	3	7840	N	N	5739 S 300TH PL
11	332953	0490	12/01/04	\$259,000	1270	600	7	1986	3	7000	N	N	30020 58TH PL S
11	332953	0530	12/28/04	\$224,950	1410	0	7	1987	3	7315	N	N	5740 S 300TH PL
11	332953	0530	01/13/04	\$200,000	1410	0	7	1987	3	7315	N	N	5740 S 300TH PL
11	332953	0740	12/28/04	\$260,000	2090	0	7	1986	3	7970	N	N	5552 S 300TH PL

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Area 27
(1 to 3 Unit Residences)

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
11	564790	0030	03/25/04	\$225,000	1090	500	7	1980	3	10906	N	N	2301 W ST NW
11	564790	0100	01/31/03	\$208,900	1280	630	7	1981	3	8313	N	N	2101 W ST NW
11	564790	0130	10/20/03	\$203,000	1190	330	7	1981	3	8500	N	N	2112 W ST NW
11	564790	0150	12/30/03	\$235,000	1280	630	7	1981	3	8500	N	N	2202 W ST NW
11	564790	0200	04/19/04	\$241,000	1380	680	7	1984	3	8397	N	N	2012 24TH ST NW
11	564790	0210	07/14/04	\$231,000	1520	0	7	1984	3	8897	N	N	2002 24TH ST NW
11	564790	0280	06/24/03	\$214,500	1280	0	7	1981	3	8078	N	N	2111 V ST NW
11	564790	0370	02/19/04	\$277,700	1890	0	7	1986	3	52128	Y	N	1810 21ST ST NW
11	564790	0420	04/21/04	\$220,000	1000	690	7	1981	3	9073	N	N	2110 V ST NW
11	564790	0450	08/26/03	\$224,198	1230	330	7	1983	3	8388	N	N	2210 V ST NW
11	564790	0650	11/21/03	\$475,000	2090	1630	9	1986	3	25474	Y	N	2432 T ST NW
11	564790	0700	01/02/04	\$206,000	1730	0	7	1984	3	8432	N	N	2401 T ST NW
11	564790	0740	08/25/04	\$266,000	1430	450	7	1983	3	9136	N	N	1901 23RD ST NW
11	564790	0750	10/31/03	\$227,000	1300	980	7	1983	3	8269	N	N	1922 24TH ST NW
11	564790	0790	06/16/03	\$207,500	1040	720	7	1984	3	9853	N	N	2412 U ST NW
11	564790	0830	12/04/03	\$230,000	1280	780	7	1983	3	8915	N	N	1901 24TH ST NW
11	564790	0840	12/14/04	\$263,450	1080	480	7	1982	3	9459	N	N	1913 24TH ST NW
11	564790	0860	12/16/04	\$249,950	1380	680	7	1984	3	8588	N	N	2013 24TH ST NW
11	664220	0070	09/09/04	\$245,200	1580	620	8	1986	3	8330	Y	N	5630 S 296TH CT
11	664220	0120	08/25/04	\$269,500	1550	380	8	1987	3	9947	N	N	5611 S 296TH CT
11	664220	0280	12/13/04	\$287,000	1690	480	8	1988	3	9994	N	N	29805 57TH PL S
11	664220	0410	07/18/03	\$237,000	2360	0	8	1987	3	12151	N	N	29642 57TH PL S
11	664220	0490	12/29/04	\$299,500	1540	600	8	1987	3	9687	N	N	5821 S 296TH PL
11	664220	0660	02/20/03	\$211,500	1340	310	7	1986	3	10495	N	N	5819 S 296TH ST
11	664876	0080	02/12/04	\$262,800	1870	0	8	1993	3	7878	N	N	29252 54TH PL S
11	664876	0110	09/07/03	\$255,000	1890	0	8	1992	3	12501	N	N	29236 54TH PL S
11	664877	0080	07/28/03	\$281,500	2580	0	9	1989	3	9703	N	N	29413 55TH AV S
11	664877	0110	07/29/04	\$334,850	2520	0	9	1990	3	10920	N	N	29431 55TH AV S
11	664877	0150	07/07/03	\$259,950	2550	0	9	1989	3	9373	N	N	29513 55TH AV S
11	664877	0190	07/20/04	\$329,000	2590	0	9	1991	3	8398	N	N	29504 55TH AV S
11	664877	0200	05/20/04	\$345,000	1570	600	9	1989	3	7663	N	N	29430 55TH AV S

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Area 27
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Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
11	664925	0050	12/08/03	\$275,000	1740	720	9	1989	3	9800	N	N	6020 S 296TH PL
11	664925	0280	02/13/04	\$314,900	2830	0	9	1990	3	8584	N	N	6014 300TH PL S
11	664925	0340	06/03/04	\$318,950	2160	0	9	1988	3	8719	N	N	6043 S 298TH PL
11	664925	0420	08/11/03	\$275,000	1810	540	9	1988	3	10795	N	N	6004 S 298TH PL
11	664925	0470	05/21/03	\$289,000	1810	540	9	1988	3	11631	Y	N	6024 S 298TH PL
11	664925	0500	06/12/03	\$287,000	2780	0	9	1989	3	7910	N	N	6036 S 298TH PL
11	664925	0600	11/30/04	\$295,000	1650	1580	8	1988	3	14089	Y	N	29618 60TH CT S
11	926930	0090	01/26/04	\$205,000	1820	0	7	1964	3	14094	N	N	29054 59TH PL S
11	928620	0050	03/10/03	\$237,500	1200	990	7	1961	3	15028	N	N	29217 58TH PL S
11	928620	0060	03/01/04	\$244,999	1290	630	7	1978	3	9650	N	N	29211 58TH PL S
11	928620	0070	02/05/04	\$262,000	1420	500	8	1967	3	10013	N	N	29205 58TH PL S
12	025558	0030	09/17/04	\$275,000	1740	0	7	1999	3	5995	N	N	4147 S 292ND PL
12	025558	0070	02/06/04	\$224,000	1660	0	7	1999	3	7718	N	N	4117 S 292ND PL
12	025558	0150	05/19/04	\$255,000	1740	0	7	1999	3	7140	N	N	29129 41ST CT S
12	025558	0190	04/13/04	\$233,500	1740	0	7	1999	3	7895	N	N	29124 41ST CT S
12	025558	0220	08/17/04	\$249,250	1740	0	7	1999	3	5999	N	N	29119 42ND AV S
12	030200	0090	05/11/04	\$243,500	2280	0	7	1991	3	14850	N	N	30817 55TH AV S
12	030200	0145	12/17/03	\$230,000	1650	0	7	1954	5	25380	N	N	5235 S 310TH ST
12	030200	0165	09/30/04	\$254,500	1470	1470	8	1967	4	19260	N	N	31009 55TH AV S
12	030200	0175	04/28/03	\$265,000	1250	580	7	1964	3	32841	N	N	5260 S 312TH ST
12	030200	0195	10/14/03	\$242,000	1580	0	7	1961	4	37800	N	N	5134 S 312TH ST
12	030200	0215	01/07/04	\$239,450	930	880	7	1964	3	28320	N	N	5123 S 312TH ST
12	030200	0290	10/27/04	\$299,950	2870	0	8	1968	3	33500	N	N	5212 S 314TH ST
12	030200	0310	01/07/03	\$169,500	1670	0	7	1961	2	18450	N	N	31415 52ND AV S
12	030200	0315	12/26/03	\$195,000	1270	0	7	1957	4	18450	N	N	31425 52ND AV S
12	030200	0370	05/12/03	\$184,900	980	0	7	1962	4	16960	N	N	5205 S 314TH ST
12	030200	0420	09/20/04	\$226,000	1650	0	7	1968	4	14850	N	N	31460 54TH AV S
12	030200	0460	09/23/04	\$195,500	1160	0	7	1960	3	19965	N	N	31409 55TH AV S
12	030200	0465	07/22/03	\$169,300	960	380	7	1963	4	14850	N	N	31421 55TH AV S
12	030200	0570	03/23/04	\$231,500	1100	600	7	1961	4	22860	N	N	31230 55TH AV S
12	030200	0620	06/18/04	\$225,000	1610	0	7	1964	2	22680	N	N	30852 55TH AV S

**Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
12	030200	0645	10/15/04	\$265,000	1420	0	7	1963	3	45303	N	N	30810 55TH AV S
12	030300	0410	12/11/03	\$217,500	1330	0	6	1958	4	13280	N	N	5425 S 305TH ST
12	030300	0490	09/12/03	\$187,500	1350	0	7	1963	3	13280	N	N	5217 S 305TH ST
12	032104	9006	05/28/03	\$169,500	1130	0	7	1959	4	15246	N	N	29024 34TH AV S
12	032104	9031	11/21/03	\$305,500	3220	0	7	2003	3	40946	N	N	4615 S 298TH ST
12	032104	9045	10/07/04	\$299,950	2600	0	7	2001	3	11250	N	N	3721 S 298TH ST
12	032104	9075	11/23/03	\$263,500	1200	390	6	1952	4	33105	N	N	3429 S 288TH ST
12	032104	9088	04/07/03	\$257,000	820	170	6	1940	3	85813	N	N	4409 S 288TH ST
12	032104	9127	04/06/04	\$237,400	1820	0	7	1964	4	19602	N	N	30210 37TH AV S
12	032104	9158	10/28/04	\$177,000	1180	0	7	1967	3	8712	N	N	29104 34TH AV S
12	102104	9022	05/12/04	\$260,000	1050	310	7	1943	4	60113	Y	Y	3720 S 312TH LN
12	102104	9036	06/02/03	\$190,000	1090	0	7	1961	4	60112	N	N	31806 MILITARY RD S
12	131030	0110	09/25/03	\$184,000	810	780	7	1976	3	7316	N	N	3343 S 290TH ST
12	131100	0010	02/25/03	\$170,000	1120	0	7	1962	3	9375	N	N	28803 38TH AV S
12	131100	0050	04/30/04	\$181,300	1300	0	7	1962	3	7350	N	N	28825 38TH AV S
12	131100	0060	12/17/03	\$182,500	1210	0	7	1962	3	7350	N	N	28833 38TH AV S
12	131100	0100	03/08/04	\$210,500	860	460	7	1962	4	7350	N	N	29003 38TH AV S
12	131100	0140	06/29/04	\$188,700	1100	0	7	1962	3	9600	N	N	29035 38TH AV S
12	131100	0200	05/24/04	\$179,950	1210	0	7	1962	4	9025	N	N	29111 38TH AV S
12	131100	0220	04/19/04	\$195,875	1400	380	7	1962	3	7410	N	N	3810 S 292ND PL
12	131100	0310	06/18/04	\$178,500	1000	0	7	1962	4	7420	N	N	3809 S 292ND PL
12	131100	0400	03/25/03	\$201,000	1080	800	7	1962	4	7210	N	N	29204 39TH AV S
12	131100	0410	09/05/03	\$207,500	1040	880	7	1962	4	7140	N	N	29126 39TH AV S
12	131100	0550	09/20/03	\$160,000	1050	470	7	1962	4	7210	N	N	28824 39TH AV S
12	131100	0610	03/02/04	\$199,450	1190	900	7	1962	4	7210	N	N	28830 38TH AV S
12	131100	0650	12/23/04	\$204,000	1110	990	7	1962	4	7210	N	N	28862 38TH AV S
12	131100	0720	10/20/03	\$206,000	1050	760	7	1962	4	7360	N	N	29031 39TH AV S
12	131100	0760	07/22/04	\$216,000	1050	360	7	1962	3	7210	N	N	28861 39TH AV S
12	131100	0800	04/09/04	\$160,000	1080	580	7	1962	3	7210	N	N	28829 39TH AV S
12	131110	0010	11/22/04	\$214,950	1070	450	7	1962	3	8250	N	N	29230 34TH AV S
12	131110	0330	12/11/03	\$175,000	1120	650	7	1963	3	8250	N	N	29356 38TH PL S

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Area 27
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Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
12	131110	0350	06/19/03	\$196,500	1060	760	7	1962	3	10552	N	N	29368 38TH PL S
12	131110	0360	08/23/04	\$220,000	1080	1080	7	1998	3	8470	N	N	29452 38TH PL S
12	131110	0370	01/21/03	\$178,500	1090	0	7	1962	4	8640	N	N	29453 38TH PL S
12	131110	0430	09/13/04	\$236,950	1050	940	7	1962	4	8030	N	N	3509 S 294TH PL
12	131110	0560	11/24/03	\$169,900	1170	0	7	1962	3	7590	N	N	3524 S 293RD PL
12	131110	0580	06/01/04	\$192,500	1130	0	7	1962	3	7590	N	N	3621 S 293RD PL
12	131110	0590	06/09/04	\$202,500	1400	0	7	1962	4	7150	N	N	3627 S 293RD PL
12	131110	0640	09/02/03	\$212,000	2280	0	7	1962	4	8175	N	N	29369 38TH PL S
12	131111	0130	10/05/04	\$239,500	1910	0	7	1995	3	6250	N	N	3247 S 302ND PL
12	131111	0150	06/21/04	\$225,000	1910	0	7	1996	3	6499	N	N	3235 S 302ND PL
12	131111	0190	09/14/04	\$229,000	1320	400	7	1996	3	6599	N	N	3213 S 302ND PL
12	131120	0010	06/28/04	\$230,000	1060	520	7	1963	3	7350	N	N	3914 S 293RD ST
12	131120	0020	12/02/04	\$236,000	1050	1040	7	1963	3	7350	N	N	3920 S 293RD ST
12	131120	0120	12/19/03	\$203,000	1100	560	7	1963	3	7210	N	N	29141 43RD AV S
12	131120	0130	08/27/03	\$214,950	1190	1000	7	1963	3	7210	N	N	29135 43RD AV S
12	131120	0200	07/31/03	\$175,000	1060	900	7	1963	3	7350	N	N	29005 43RD AV S
12	131120	0210	08/30/04	\$232,500	1080	810	7	1963	4	7350	N	N	29004 43RD AV S
12	131120	0410	10/04/04	\$195,012	1390	900	7	1963	3	7210	N	N	29126 43RD AV S
12	131120	0420	04/15/04	\$189,000	1080	480	7	1963	3	7210	N	N	29134 43RD AV S
12	131120	0600	07/09/04	\$190,000	1250	0	7	1963	4	7245	N	N	29030 45TH AV S
12	131120	0620	04/09/04	\$178,500	1060	820	7	1963	3	6825	N	N	29106 45TH AV S
12	131120	0700	06/17/04	\$190,800	1250	0	7	1963	4	6825	N	N	29224 45TH AV S
12	131120	0730	12/18/03	\$169,950	1060	1010	7	1963	3	7350	N	N	29242 45TH AV S
12	131130	0070	06/07/04	\$204,950	860	860	7	1963	3	7280	N	N	28852 37TH AV S
12	131140	0050	08/19/03	\$188,500	1370	0	7	1964	4	7665	N	N	29110 42ND AV S
12	131140	0130	10/01/04	\$212,000	1450	0	7	1964	4	7392	N	N	4225 S 290TH ST
12	131140	0170	06/03/04	\$225,000	1160	1140	7	1964	4	7392	N	N	4251 S 290TH ST
12	131150	0030	10/02/03	\$204,950	1190	570	7	1966	4	7830	N	N	29316 41ST AV S
12	131150	0180	10/11/04	\$177,500	1050	520	7	1966	4	8820	N	N	29501 39TH AV S
12	131150	0250	08/19/04	\$227,847	1050	720	7	1966	4	7437	N	N	29501 38TH PL S
12	131160	0040	07/21/03	\$166,500	1450	0	7	1965	3	7245	N	N	29009 45TH PL S

**Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
12	131160	0120	01/14/04	\$206,000	1450	0	7	1965	3	7350	N	N	29219 45TH PL S
12	131160	0140	08/26/03	\$205,000	1050	780	7	1966	3	7350	N	N	29231 45TH PL S
12	131160	0230	03/31/04	\$199,990	1460	0	7	1966	3	7600	N	N	4230 S 294TH ST
12	131160	0250	05/22/03	\$214,950	1300	600	7	1966	3	7480	N	N	4218 S 294TH ST
12	131160	0260	07/12/04	\$203,250	1060	1040	7	1966	3	8280	N	N	4212 S 294TH ST
12	131160	0290	05/12/03	\$218,900	1410	360	7	1966	4	11200	N	N	4122 S 294TH ST
12	131160	0310	05/20/04	\$204,950	1450	0	7	1966	3	7350	N	N	4119 S 294TH ST
12	131160	0360	08/28/03	\$186,000	1250	0	7	1966	4	8085	N	N	4221 S 294TH ST
12	131160	0370	11/05/04	\$203,000	1250	0	7	1966	3	8295	N	N	4305 S 294TH ST
12	131160	0450	05/16/03	\$177,000	1250	0	7	1966	3	7350	N	N	29306 45TH PL S
12	131160	0510	09/18/03	\$202,000	1110	450	7	1968	4	7125	N	N	29210 45TH PL S
12	131180	0260	12/05/03	\$219,950	1140	530	7	1967	4	8000	N	N	29501 45TH PL S
12	131180	0460	07/20/04	\$214,000	1180	450	7	1967	4	9760	N	N	4515 S 296TH PL
12	131181	0110	12/09/04	\$238,960	1110	550	7	1968	3	9000	N	N	29646 36TH PL S
12	131190	0100	10/20/03	\$203,500	1050	450	7	1968	3	7350	N	N	29616 40TH PL S
12	131190	0200	02/26/03	\$210,000	1160	570	7	1968	3	7000	N	N	29611 40TH PL S
12	131190	0210	03/29/04	\$211,000	1050	520	7	1968	4	7000	N	N	29619 40TH PL S
12	131190	0240	07/09/04	\$222,000	1560	0	7	1968	4	7000	N	N	29637 40TH PL S
12	131190	0260	05/21/04	\$230,000	1280	500	7	1968	4	7500	N	N	29705 40TH PL S
12	131191	0160	01/06/04	\$170,000	1280	0	7	1968	3	7200	N	N	4036 S 296TH ST
12	131200	0020	06/23/03	\$175,000	1450	0	7	1965	4	7800	N	N	4112 S 288TH PL
12	131200	0060	07/09/04	\$185,000	1250	0	7	1964	3	7380	N	N	28807 41ST AV S
12	131210	0050	02/23/04	\$200,000	1050	470	7	1967	3	6210	N	N	3429 S 290TH ST
12	131210	0080	09/18/03	\$215,000	1410	470	7	1967	4	7200	N	N	29014 34TH AV S
12	131210	0130	07/10/04	\$220,000	1330	560	7	1967	3	6800	N	N	3428 S 290TH ST
12	131270	0050	08/05/04	\$229,950	1110	960	7	1966	4	7200	N	N	29111 34TH AV S
12	131280	0030	06/13/03	\$226,600	1430	600	7	1966	4	7200	N	N	3232 S 291ST ST
12	131280	0120	12/17/04	\$226,000	1800	0	7	1966	4	7566	N	N	3215 S 291ST ST
12	131280	0150	08/18/04	\$223,000	1150	480	7	1966	3	7878	N	N	3235 S 291ST ST
12	131290	0010	01/22/04	\$175,000	1270	0	7	1967	3	8050	N	N	29218 33RD AV S
12	131290	0040	07/20/04	\$219,950	1330	660	7	1967	3	7700	N	N	29200 33RD AV S

**Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
12	131290	0060	07/17/03	\$193,000	1130	830	7	1967	3	8160	N	N	3216 S 292ND ST
12	131290	0090	08/17/04	\$200,000	1190	420	7	1967	3	7200	N	N	29113 32ND PL S
12	131290	0120	12/12/04	\$210,000	1250	0	7	1967	3	10685	N	N	29209 32ND PL S
12	131291	0020	07/18/03	\$177,950	1190	0	7	1985	3	7420	N	N	3725 S 302ND ST
12	131291	0150	08/20/03	\$206,000	950	570	7	1983	3	12000	N	N	4042 S 302ND PL
12	131291	0340	01/15/04	\$193,200	1200	0	7	1985	3	8220	N	N	30216 41ST AV S
12	131292	0080	05/10/03	\$160,500	1200	0	7	1983	3	7600	N	N	3810 S 303RD CT
12	131292	0090	07/11/03	\$218,900	1330	940	7	1989	3	6533	N	N	30240 38TH PL S
12	152104	9068	08/14/03	\$155,000	1240	0	5	1952	2	19602	N	N	32011 44TH AV S
12	204800	0020	08/27/03	\$181,000	1520	0	7	2001	3	3000	N	N	30144 36TH PL S
12	204800	0070	10/14/03	\$197,000	1560	0	7	2003	3	3046	N	N	30114 36TH PL S
12	204800	0080	12/12/03	\$194,900	1520	0	7	2003	3	4178	N	N	30110 36TH PL S
12	204800	0090	07/25/03	\$190,000	1620	0	7	2003	3	3581	N	N	30106 36TH PL S
12	204800	0100	06/26/03	\$181,000	1610	0	7	2003	3	2780	N	N	30102 36TH PL S
12	204800	0150	03/17/03	\$188,900	1600	0	7	2002	3	2727	N	N	30149 36TH PL S
12	204800	0250	01/21/03	\$183,900	1630	0	7	2002	3	3273	N	N	3332 S 301ST PL
12	204800	0290	05/20/03	\$190,000	1600	0	7	2003	3	2540	N	N	3316 S 301ST PL
12	204800	0300	08/03/03	\$193,750	1600	0	7	2003	3	3000	N	N	3308 S 301ST PL
12	204800	0330	08/28/03	\$180,000	1600	0	7	2003	3	2231	N	N	3323 S 301ST PL
12	204800	0340	08/28/03	\$180,000	1600	0	7	2003	3	2800	N	N	3331 S 301ST PL
12	204800	0350	07/25/03	\$169,900	1430	0	7	2001	3	3291	N	N	3339 S 301ST PL
12	204800	0360	12/20/04	\$237,000	2270	0	7	2001	3	3635	N	N	3347 S 301ST PL
12	204800	0370	07/24/03	\$189,900	1550	0	7	2003	3	2872	N	N	30072 34TH AV S
12	204800	0380	09/18/03	\$196,900	1520	0	7	2003	3	3118	N	N	30066 34TH AV S
12	204800	0430	04/02/03	\$191,000	1550	0	7	2003	3	3129	N	N	30036 34TH AV S
12	204800	0440	03/13/03	\$194,000	1520	0	7	2003	3	2984	N	N	30030 34TH AV S
12	246050	0060	07/29/03	\$187,000	1280	0	7	1969	4	7140	N	N	29704 45TH AV S
12	246050	0090	08/23/04	\$195,000	970	0	7	1970	3	7800	N	N	29600 45TH AV S
12	246050	0100	03/27/03	\$162,999	970	0	7	1970	3	7840	N	N	4432 S 296TH PL
12	246050	0130	09/24/03	\$206,300	1060	1060	7	1976	4	7490	N	N	4416 S 296TH PL
12	246050	0180	07/14/04	\$207,500	1270	0	7	1968	4	7200	N	N	29711 45TH AV S

**Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
12	246060	0040	07/23/03	\$162,000	970	0	7	1973	3	7300	N	N	29825 45TH AV S
12	246060	0060	09/15/03	\$190,000	1480	0	7	1973	3	6966	N	N	29835 45TH AV S
12	246060	0100	06/05/03	\$179,500	970	290	7	1975	3	7310	N	N	4356 S 300TH ST
12	246060	0160	04/12/04	\$211,500	970	580	7	1974	4	8584	N	N	29820 45TH AV S
12	246060	0200	10/19/04	\$222,750	1850	0	7	1974	3	8850	N	N	29804 45TH AV S
12	248250	0030	10/29/04	\$185,800	1280	0	7	1967	3	9782	N	N	30656 MILITARY RD S
12	248250	0040	08/13/04	\$219,950	1560	0	7	1967	3	11232	N	N	30652 MILITARY RD S
12	248250	0050	02/13/03	\$174,000	1430	0	7	1967	3	10175	N	N	30648 MILITARY RD S
12	261670	0050	03/15/04	\$197,783	1420	880	7	1985	3	8457	N	N	4904 S 301ST DR
12	261670	0170	10/08/03	\$213,500	1600	0	7	1985	3	8532	N	N	4700 S 301ST DR
12	261670	0280	07/21/03	\$200,800	1320	0	7	1985	3	9038	N	N	4410 S 301ST DR
12	261670	0410	10/14/04	\$225,000	1600	0	7	1987	3	7237	N	N	4411 S 301ST DR
12	261670	0430	03/18/04	\$204,000	1240	0	7	1989	3	7500	N	N	4505 S 301ST DR
12	261670	0470	06/28/04	\$248,000	1200	610	7	1985	3	8939	N	N	30111 46TH AV S
12	274400	0070	11/05/04	\$270,000	1870	0	7	1988	4	8588	N	N	4303 S 289TH PL
12	274400	0110	04/01/03	\$254,500	1600	320	7	1985	3	9132	N	N	4314 S 289TH PL
12	293500	0090	08/06/04	\$215,000	1600	0	7	1970	3	7225	N	N	29662 43RD PL S
12	293500	0110	03/27/03	\$138,000	860	0	7	1970	3	7140	N	N	29650 43RD PL S
12	293500	0140	03/11/03	\$179,950	930	460	7	1970	3	7000	N	N	4232 S 297TH PL
12	293500	0160	07/29/03	\$184,950	990	400	7	1977	3	6960	N	N	4218 S 297TH PL
12	293500	0180	09/19/03	\$159,999	1010	0	7	1977	3	6300	N	N	4210 S 297TH PL
12	293500	0200	11/07/03	\$183,610	930	470	7	1970	4	7360	N	N	29620 42ND PL S
12	293500	0260	02/20/03	\$176,900	900	470	7	1970	3	6300	N	N	4303 S 296TH PL
12	293500	0270	05/25/04	\$180,000	900	400	7	1970	3	7200	N	N	4311 S 296TH PL
12	337600	0050	02/10/03	\$164,850	1010	0	7	1967	3	7665	N	N	28910 45TH PL S
12	337600	0120	05/25/04	\$181,500	1010	0	7	1967	3	7315	N	N	28910 44TH PL S
12	337600	0130	10/28/04	\$185,000	1010	0	7	1967	3	5400	N	N	28914 44TH PL S
12	337600	0210	08/20/03	\$165,500	1050	0	7	1967	3	6900	N	N	28807 44TH PL S
12	337600	0250	07/15/04	\$173,000	1300	0	7	1967	3	7600	N	N	28805 45TH PL S
12	387650	0040	04/07/04	\$225,000	1850	0	7	1966	3	9296	N	N	29312 33RD AV S
12	387650	0050	06/24/04	\$182,350	1020	0	7	1966	3	8360	N	N	29305 33RD AV S

**Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
12	387650	0140	06/19/03	\$159,750	1020	0	7	1967	4	7200	N	N	29330 32ND PL S
12	387650	0150	01/07/04	\$192,000	1630	0	7	1967	3	7200	N	N	29326 32ND PL S
12	387650	0160	10/27/04	\$189,950	1300	0	7	1967	3	7200	N	N	29318 32ND PL S
12	387650	0260	07/09/04	\$218,000	1160	300	7	1967	3	7920	N	N	29501 32ND PL S
12	387650	0360	09/17/03	\$180,000	1100	0	7	1966	4	7210	N	N	29409 34TH AV S
12	387660	0050	05/12/03	\$169,950	1380	0	7	1967	4	8500	N	N	29540 32ND PL S
12	387670	0010	09/29/04	\$254,000	1170	650	7	1968	4	7600	N	N	3242 S 296TH PL
12	387670	0140	06/18/04	\$199,950	1370	0	7	1967	3	9000	N	N	3217 S 296TH PL
12	387670	0150	03/19/04	\$197,400	1100	1100	7	1968	3	8400	N	N	3223 S 296TH PL
12	387671	0070	05/19/04	\$240,000	1200	900	7	1978	3	7500	N	N	29712 33RD AV S
12	387671	0210	03/24/03	\$177,000	1420	0	7	1978	3	7200	N	N	3206 S 298TH ST
12	401250	0050	08/04/04	\$229,000	970	280	7	1964	4	9545	N	N	3836 S 305TH PL
12	401250	0120	08/18/04	\$220,000	1400	0	8	1966	3	11948	N	N	3879 S 305TH PL
12	401280	0060	10/21/03	\$170,000	1480	0	7	1961	3	13158	N	N	4414 S 318TH ST
12	401320	0030	12/22/03	\$155,000	820	0	6	1942	4	41382	N	N	30640 MILITARY RD S
12	401320	0060	04/25/03	\$173,100	1770	0	7	1956	3	24375	N	N	30659 34TH PL S
12	401320	0063	09/17/03	\$155,000	1370	0	7	1963	4	8501	N	N	3266 S 308TH PL
12	401320	0225	01/15/04	\$189,900	1160	0	6	1943	2	50094	N	Y	31026 MILITARY RD S
12	401320	0240	11/22/04	\$180,000	940	0	5	1944	2	41700	Y	Y	31064 MILITARY RD S
12	401380	0025	03/21/03	\$350,000	1980	360	8	1987	3	34807	Y	Y	30441 38TH AV S
12	401380	0126	11/26/03	\$193,000	1540	0	7	1961	4	11330	N	N	30404 38TH AV S
12	401380	0161	08/22/03	\$235,633	1660	0	8	1984	3	18263	N	N	3820 S 307TH PL
12	401380	0166	01/20/03	\$144,685	1100	0	6	1958	3	12350	N	N	30728 38TH AV S
12	401380	0175	05/05/04	\$169,000	1210	0	6	1947	4	20482	N	N	30820 38TH AV S
12	401380	0194	03/23/04	\$215,950	1400	1090	7	1961	4	10296	N	N	30861 42ND AV S
12	401380	0201	11/05/04	\$203,000	1270	0	7	1957	4	17157	N	N	31034 38TH AV S
12	401380	0213	09/30/04	\$181,500	990	0	7	1962	2	8379	N	N	3830 S 312TH ST
12	401440	0007	08/20/04	\$184,490	1060	0	7	1961	4	10162	N	N	4233 S 308TH ST
12	401440	0035	04/24/03	\$162,650	1470	0	7	1966	3	19046	N	N	31015 44TH AV S
12	401440	0055	02/25/04	\$220,000	1200	1200	7	1965	3	26108	N	N	4212 S 312TH ST
12	401440	0066	03/09/04	\$165,000	1140	0	7	1967	3	13628	N	N	31010 42ND AV S

**Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
12	401440	0095	09/30/04	\$489,950	2800	0	9	1999	3	23976	N	N	4425 S 308TH ST
12	401440	0298	12/16/04	\$215,000	1370	0	7	1966	3	9000	N	N	4730 S 318TH ST
12	541320	0040	06/19/03	\$204,000	1580	0	7	1990	3	7704	N	N	3416 S 298TH PL
12	541320	0050	08/19/03	\$207,950	1530	0	7	1990	3	7423	N	N	3417 S 298TH PL
12	541320	0060	05/03/04	\$210,000	1580	0	7	1990	3	7542	N	N	3413 S 298TH PL
12	541320	0130	07/15/04	\$234,000	1640	0	7	1990	3	7209	N	N	3419 S 299TH ST
12	551560	0084	12/15/04	\$184,000	1100	0	7	1967	2	16875	N	N	3425 S 316TH ST
12	551560	0100	05/27/04	\$205,000	1190	0	5	1947	4	84273	N	N	3235 S 316TH ST
12	555680	0010	03/11/03	\$200,000	1010	840	7	1967	3	7650	N	N	28803 40TH AV S
12	555680	0070	01/20/04	\$175,000	1120	0	7	1967	3	9000	N	N	28839 40TH AV S
12	555680	0090	02/19/04	\$184,950	1270	0	7	1967	3	6760	N	N	28855 40TH AV S
12	555680	0220	12/19/03	\$180,000	950	0	7	1967	3	8400	N	N	29016 40TH AV S
12	555680	0260	10/22/04	\$196,000	1440	0	7	1967	3	10800	N	N	28856 40TH AV S
12	555680	0300	06/10/03	\$169,000	1190	0	7	1967	3	7280	N	N	28832 40TH AV S
12	555680	0340	11/08/04	\$184,000	1350	0	7	1967	3	10146	N	N	28808 40TH AV S
12	555690	0040	02/05/04	\$158,000	900	0	7	1970	4	6300	N	N	3504 S 291ST ST
12	555690	0080	12/16/04	\$189,000	910	0	7	1969	3	7686	N	N	29109 35TH PL S
12	555690	0090	08/15/03	\$168,000	970	0	7	1978	3	6900	N	N	29113 35TH PL S
12	555690	0330	04/28/04	\$158,500	900	0	7	1970	4	9450	N	N	3523 S 291ST ST
12	565150	0150	07/29/03	\$189,950	1310	0	7	1989	3	8399	N	N	4947 S 298TH ST
12	608460	0120	04/29/03	\$205,000	1432	0	7	1986	3	7411	N	N	4824 S 308TH ST
12	608460	0130	06/10/03	\$224,950	2180	0	7	1986	3	9232	N	N	4810 S 308TH ST
12	608460	0150	11/04/04	\$248,500	1432	0	7	1987	4	6652	N	N	30722 48TH AV S
12	608460	0160	06/18/03	\$254,950	2150	0	7	1986	3	8375	N	N	30716 48TH AV S
12	608460	0200	02/18/04	\$222,000	1150	260	7	1985	3	7152	N	N	30701 48TH AV S
12	608460	0200	01/27/03	\$185,000	1150	260	7	1985	3	7152	N	N	30701 48TH AV S
12	608460	0210	08/04/03	\$235,000	1720	0	7	1985	3	9034	N	N	30705 48TH AV S
12	608460	0260	12/19/03	\$226,900	2140	0	7	1987	3	7204	N	N	30733 48TH AV S
12	608460	0280	04/20/04	\$215,000	1549	0	7	1987	3	7203	N	N	4714 S 308TH ST
12	608460	0560	05/07/04	\$265,000	2050	0	7	1985	3	13849	N	N	30844 50TH AV S
12	608460	0570	05/26/04	\$243,000	1432	0	7	1986	3	12004	N	N	30838 50TH AV S

**Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
12	608460	0580	08/17/04	\$244,500	1432	0	7	1985	3	12004	N	N	30832 50TH AV S
12	608460	0740	06/21/04	\$279,265	1794	1136	7	1987	3	8621	N	N	30840 49TH CT S
12	608460	0780	03/10/03	\$209,950	1630	0	7	1988	3	7588	N	N	30851 49TH CT S
12	608460	0800	07/01/04	\$250,000	1360	440	7	1985	3	8874	N	N	30850 48TH CT S
12	608460	0870	08/02/04	\$247,000	1412	0	7	1987	3	9263	N	N	30845 48TH CT S
12	608460	0990	08/19/04	\$242,500	1720	0	7	1986	3	8399	N	N	4711 S 308TH ST
12	608460	1000	08/26/03	\$246,000	2120	0	7	1987	3	7663	N	N	4717 S 308TH ST
12	608460	1020	05/06/04	\$229,000	1650	0	7	1987	3	7748	N	N	4801 S 308TH ST
12	661850	0010	01/09/03	\$209,000	1200	400	7	1991	3	8244	N	N	29753 48TH AV S
12	661850	0050	06/03/04	\$245,000	1180	400	7	1991	3	8387	N	N	29729 48TH AV S
12	661850	0080	04/23/04	\$239,950	1180	440	7	1991	3	8342	N	N	29711 48TH AV S
12	661850	0090	06/28/04	\$227,000	1400	0	7	1991	3	8792	N	N	29705 48TH AV S
12	753120	0010	04/21/03	\$219,000	2040	0	7	1968	5	7216	N	N	29427 36TH AV S
12	753120	0090	12/20/04	\$168,000	860	0	7	1969	3	9750	N	N	3505 S 295TH ST
12	753120	0120	04/26/04	\$164,000	830	0	7	1969	3	7416	N	N	3521 S 295TH ST
12	769650	0040	05/27/04	\$169,000	970	0	7	1968	3	7200	N	N	29827 45TH PL S
12	769650	0080	03/31/04	\$170,000	970	0	7	1968	4	8424	N	N	29855 45TH PL S
12	769650	0260	06/23/03	\$160,000	860	0	7	1970	4	7200	N	N	29816 47TH PL S
12	769650	0270	07/12/04	\$199,000	1530	0	7	1971	4	7210	N	N	29810 47TH PL S
12	769650	0320	02/24/04	\$180,000	1280	0	7	1968	4	7700	N	N	4548 S 298TH PL
12	769650	0340	11/21/03	\$163,000	970	0	7	1968	4	7800	N	N	4538 S 298TH PL
12	769660	0040	08/18/04	\$205,000	2070	0	7	1974	2	7200	N	N	30035 45TH PL S
12	769660	0230	12/09/04	\$176,000	970	0	7	1973	3	7820	N	N	30026 45TH PL S
12	769660	0280	08/20/03	\$133,280	970	0	7	1971	3	7280	N	N	30011 47TH PL S
12	769660	0310	09/13/04	\$185,250	970	0	7	1971	4	7500	N	N	30012 47TH PL S
12	769660	0310	06/24/03	\$164,450	970	0	7	1971	4	7500	N	N	30012 47TH PL S
12	769660	0340	02/09/04	\$169,950	970	0	7	1971	3	8580	N	N	30032 47TH PL S
12	769661	0060	07/02/03	\$175,000	1680	0	7	1975	3	7600	N	N	4908 S 300TH PL
12	769661	0130	06/28/04	\$208,500	970	580	7	1975	3	7500	N	N	29918 48TH PL S
12	769661	0140	10/27/03	\$199,000	1320	330	7	1975	3	7500	N	N	29914 48TH PL S
12	769661	0190	05/05/03	\$195,000	1680	0	7	1975	3	6750	N	N	29925 48TH PL S

**Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
12	769661	0230	02/21/03	\$170,000	1680	0	7	1975	4	8030	N	N	30060 47TH PL S
12	769661	0290	05/26/04	\$210,000	1580	0	7	1975	3	7488	N	N	4719 S 300TH PL
12	769661	0400	09/26/03	\$200,000	1580	0	7	1975	3	7776	N	N	5023 S 300TH PL
12	769662	0020	03/21/03	\$188,500	1580	0	7	1976	3	7650	N	N	4604 S 300TH PL
12	769662	0070	11/10/04	\$221,000	1060	0	7	1976	3	8400	N	N	4532 S 300TH PL
12	769662	0080	06/09/04	\$217,500	1310	580	7	1976	4	7125	N	N	30034 45TH CT S
12	769662	0110	11/10/03	\$191,500	1100	380	7	1976	3	7200	N	N	30033 45TH CT S
12	769662	0120	09/15/03	\$191,000	1580	0	7	1976	3	7300	N	N	30039 45TH CT S
12	769662	0200	12/13/03	\$205,000	1000	580	7	1976	3	7600	N	N	30029 45TH AV S
12	769662	0230	10/18/04	\$209,000	1580	0	7	1976	3	7200	N	N	4511 S 300TH PL
12	769662	0250	07/15/03	\$190,000	1000	580	7	1976	4	7200	N	N	4523 S 300TH PL
12	769663	0070	05/20/03	\$187,000	1600	0	7	1976	3	7250	N	N	4308 S 300TH PL
12	769663	0090	06/14/04	\$189,900	920	300	7	1976	3	7503	N	N	30014 43RD PL S
12	769663	0110	09/29/03	\$177,000	1300	0	7	1976	4	8750	N	N	30016 42ND PL S
12	769663	0120	05/27/04	\$197,000	970	580	7	1976	3	7850	N	N	30012 42ND PL S
12	769663	0240	02/23/04	\$184,000	1100	400	7	1976	3	8350	N	N	30233 42ND PL S
12	769663	0300	10/22/04	\$202,500	1060	500	7	1976	3	7380	N	N	30232 42ND PL S
12	769663	0320	12/23/03	\$194,950	1060	630	7	1976	4	7620	N	N	30220 42ND PL S
12	769663	0450	05/19/04	\$206,000	1580	0	7	1976	4	7272	N	N	4311 S 300TH PL
12	789550	0350	04/16/03	\$175,500	1330	0	7	1970	3	7420	N	N	4324 S 300TH ST
12	789550	0400	12/20/04	\$229,500	1580	0	7	1971	4	8400	N	N	29906 43RD AV S
12	789550	0570	03/18/03	\$180,900	900	470	7	1973	3	7650	N	N	29805 43RD PL S
12	789550	0580	07/25/03	\$174,500	1200	0	7	1971	3	7900	N	N	29809 43RD PL S
12	789560	0020	04/28/03	\$168,000	1580	0	7	1971	3	7490	N	N	4325 S 300TH ST
12	800110	0070	06/24/03	\$209,900	1640	0	7	1996	3	5150	N	N	3336 S S 300TH PL
12	800110	0120	08/19/04	\$206,000	1080	0	7	1996	3	9958	N	N	3310 S S 300TH PL
12	800110	0180	07/30/03	\$239,900	2200	0	7	1996	3	7190	N	N	3325 S S 300TH PL
12	800110	0250	06/08/04	\$190,000	1130	740	7	1996	3	6983	N	N	29930 34TH AV S
12	800121	0040	07/22/04	\$237,500	1240	800	7	1978	3	8190	N	N	4634 S 288TH PL
12	800121	0260	03/04/03	\$195,000	1230	500	7	1978	3	8000	N	N	4645 S 289TH PL
12	800121	0320	07/27/04	\$230,000	1680	460	7	1978	3	7420	N	N	4613 S 289TH PL

**Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
12	800123	0020	04/23/03	\$207,500	1250	800	7	1978	3	7525	N	N	28811 46TH PL S
12	800123	0060	12/14/04	\$265,000	1260	910	7	1978	4	7525	N	N	28835 46TH PL S
12	800140	0040	08/27/04	\$245,000	1850	0	8	1989	3	10151	N	N	5002 S 310TH PL
12	800140	0070	05/19/03	\$213,000	1910	0	8	1988	3	8680	N	N	4906 S 310TH PL
12	800140	0140	05/11/04	\$252,000	2120	0	8	1988	3	8826	N	N	4815 S 311TH CT
12	800140	0290	11/11/03	\$229,995	1920	0	8	1988	3	10304	N	N	4920 S 313TH PL
12	800145	0010	05/13/04	\$235,000	1720	0	8	1991	3	8245	N	N	4402 S 313TH ST
12	800145	0060	07/17/03	\$260,700	1400	1250	8	1990	3	9920	N	N	4524 S 313TH ST
12	800145	0070	03/01/04	\$259,800	1300	300	8	1990	3	8989	N	N	4534 S 313TH ST
12	800145	0080	08/16/04	\$260,000	1340	0	8	1989	3	20580	N	N	4700 S 313TH ST
12	800145	0150	04/23/04	\$245,000	1860	0	8	1989	3	15141	N	N	4805 S 313TH ST
12	800145	0230	06/28/04	\$330,000	2590	0	8	1990	3	20470	N	N	4718 S 315TH PL
12	800145	0290	08/13/03	\$299,950	1900	620	8	1990	3	17540	N	N	31410 48TH AV S
12	800145	0350	12/03/04	\$290,100	2000	0	8	1989	3	12372	N	N	4717 S 315TH PL
12	800145	0350	03/13/03	\$239,649	2000	0	8	1989	3	12372	N	N	4717 S 315TH PL
12	800145	0390	03/17/04	\$309,300	2250	540	8	1990	3	15969	N	N	31417 47TH AV S
12	800145	0490	04/25/04	\$247,000	1710	0	6	1990	3	11555	N	N	31308 44TH AV S
12	800160	0240	11/13/03	\$286,000	2600	0	8	1988	3	8436	N	N	4909 S 315TH PL
12	815961	0100	07/16/04	\$231,500	2020	0	7	1974	3	6059	N	N	29014 50TH AV S
12	815961	0260	09/28/04	\$210,000	1290	0	7	1975	3	5100	N	N	5015 S 291ST ST
12	815962	0090	05/03/04	\$186,000	1260	910	7	1977	4	7884	N	N	4717 S 292ND ST
12	815962	0110	12/03/04	\$203,000	1230	0	7	1977	3	7884	N	N	4811 S 292ND ST
12	815962	0110	06/25/03	\$186,000	1230	0	7	1977	3	7884	N	N	4811 S 292ND ST
12	815962	0210	11/10/04	\$192,000	1150	320	7	1977	3	8881	N	N	29308 49TH AV S
12	815963	0060	08/27/03	\$197,950	1760	0	7	1977	3	9360	N	N	4609 S 291ST ST
12	815963	0130	04/26/04	\$195,300	1220	0	7	1977	4	9990	N	N	4604 S 291ST ST
12	815963	0210	10/18/04	\$205,000	1320	0	7	1976	4	7047	N	N	4622 S 290TH PL
12	815963	0210	06/02/03	\$167,990	1320	0	7	1976	4	7047	N	N	4622 S 290TH PL
12	815963	0250	11/19/03	\$187,500	1320	0	7	1976	4	8819	N	N	29001 46TH PL S
12	815963	0260	07/25/03	\$188,500	1320	0	7	1976	4	8819	N	N	29009 46TH PL S
12	815963	0280	05/22/03	\$185,000	1320	0	7	1976	4	8819	N	N	29025 46TH PL S

**Improved Sales Used in this Annual Update Analysis
Area 27
(1 to 3 Unit Residences)**

Sub Area	Major	Minor	Sale Date	Sale Price	Above Grade Living	Finished Bsmt	Bld Grade	Year Built/ Ren	Cond	Lot Size	View	Water-front	Situs Address
12	815963	0330	09/15/04	\$225,000	1320	0	7	1976	4	9720	N	N	29129 46TH PL S
12	815963	0360	12/03/04	\$219,000	1240	0	7	1977	4	9900	N	N	4602 S 292ND ST
12	815963	0370	08/24/03	\$224,000	1080	770	7	1977	4	12000	N	N	4601 S 292ND ST
12	856324	0170	04/27/04	\$227,400	1280	800	7	1978	3	7560	N	N	29712 39TH PL S
12	873235	0060	04/28/04	\$210,000	1210	470	7	1978	3	8216	N	N	3623 S 298TH PL
12	873235	0140	09/16/04	\$241,500	1180	840	7	1979	3	10150	N	N	3604 S 299TH PL
12	873235	0170	01/15/03	\$213,500	1270	470	7	1979	3	8400	N	N	3621 S 299TH PL
12	949180	0010	03/24/03	\$182,000	1100	0	7	1990	3	6679	N	N	3203 S 298TH ST
12	949180	0020	04/14/03	\$204,450	1570	0	7	1990	3	7917	N	N	3209 S 298TH ST
12	949180	0280	09/17/03	\$195,000	1100	0	7	1990	3	9184	N	N	3219 S 299TH ST
12	949180	0320	06/02/04	\$227,000	1540	0	7	1990	3	9921	N	N	3309 S 299TH ST
12	949180	0320	11/25/03	\$206,000	1540	0	7	1990	3	9921	N	N	3309 S 299TH ST
12	949180	0330	06/05/03	\$202,950	1570	0	7	1990	3	10534	N	N	3315 S 299TH ST

**Vacant Sales Used in this Annual Update Analysis
Area 27**

Sub Area	Major	Minor	Sale Date	Sale Price	Comments
006	011000	0020	4/7/04	\$180,000	BANKRUPTCY - RECEIVER OR TRUSTEE
006	011000	0120	4/7/03	\$156,250	BANKRUPTCY - RECEIVER OR TRUSTEE
006	125320	0050	7/25/03	\$190,000	RELOCATION - SALE BY SERVICE
006	125320	0050	7/25/03	\$190,000	RELOCATION - SALE TO SERVICE
006	125320	0140	8/17/04	\$195,880	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
006	131050	0110	7/30/03	\$191,000	UnFinArea
006	131050	0620	10/10/03	\$48,000	DORRatio
006	131080	0070	2/27/04	\$210,000	QUIT CLAIM DEED
006	131098	0340	1/20/04	\$220,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
006	131098	0450	12/22/03	\$224,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
006	131099	0220	2/12/03	\$190,900	Diagnostic Outlier
006	131099	0320	10/28/03	\$60,500	RELATED PARTY, FRIEND, OR NEIGHBOR
006	155520	0250	8/9/04	\$157,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
006	155520	0680	3/26/04	\$90,206	QUIT CLAIM DEED; STATEMENT TO DOR DORRatio
006	194140	0020	9/10/03	\$135,000	CORPORATE AFFILIATES
006	194140	0220	6/12/03	\$71,499	DORRatio
006	222204	9013	2/12/03	\$260,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
006	222204	9064	12/27/04	\$500,000	%Compl ActivePermitBeforeSale>25K
006	222204	9191	11/10/03	\$176,000	ASSUMPTION OF MORTGAGE
006	272204	9056	6/22/04	\$162,750	Diagnostic Outlier
006	272204	9129	7/1/04	\$215,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
006	272204	9239	4/25/03	\$78,000	DORRatio
006	282204	9080	8/20/03	\$93,285	QUIT CLAIM DEED
006	282204	9147	3/27/03	\$187,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
006	289470	0420	6/27/03	\$275,000	UnFinArea
006	289510	0340	11/8/04	\$127,265	DORRatio
006	383230	0310	2/14/03	\$159,900	BANKRUPTCY - RECEIVER OR TRUSTEE
006	383230	0310	2/18/03	\$159,900	QUIT CLAIM DEED
006	383231	0100	1/9/04	\$96,652	QUIT CLAIM DEED
006	383231	0180	11/4/03	\$99,671	QUIT CLAIM DEED
006	383250	0620	4/17/03	\$229,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
006	383260	0130	2/1/03	\$215,000	RELATED PARTY, FRIEND, OR NEIGHBOR
006	432450	0510	3/15/04	\$302,000	Obsol
006	538760	0040	12/18/03	\$183,000	Obsol
006	666901	0240	5/12/03	\$50,000	QUIT CLAIM DEED
006	714640	0050	8/13/04	\$255,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
006	714640	0060	10/22/03	\$220,500	Obsol
006	714940	0200	6/11/03	\$187,000	BANKRUPTCY - RECEIVER OR TRUSTEE
006	714941	0010	2/25/04	\$177,500	Diagnostic Outlier
006	763350	0010	11/14/03	\$160,000	Diagnostic Outlier
006	796770	0230	6/18/03	\$163,274	RELATED PARTY, FRIEND, OR NEIGHBOR
006	796770	0540	12/14/04	\$96,241	DORRatio
006	807540	0440	12/27/04	\$122,169	Data Outlier
006	807540	0570	12/8/03	\$210,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
006	807540	0630	12/23/03	\$145,000	Diagnostic Outlier

**Vacant Sales Used in this Annual Update Analysis
Area 27**

Sub Area	Major	Minor	Sale Date	Sale Price	Comments
006	807540	0790	3/19/03	\$145,000	NO MARKET EXPOSURE; FORCED SALE
006	885760	0070	6/18/03	\$164,400	UnFinArea
006	885760	0090	6/9/04	\$185,000	GOVERNMENT AGENCY
006	885760	0160	10/27/03	\$95,500	CORPORATE AFFILIATES
006	885760	0510	4/3/03	\$130,100	EXEMPT FROM EXCISE TAX
006	886000	0040	8/29/03	\$178,950	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
006	886000	0225	2/27/03	\$92,000	Data Outlier
006	886000	0250	8/8/03	\$136,500	Diagnostic Outlier
006	939250	0170	9/13/04	\$220,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
006	948578	0040	8/19/04	\$355,000	RELOCATION - SALE BY SERVICE
006	948578	0040	8/14/04	\$355,000	RELOCATION - SALE TO SERVICE
006	983580	0130	8/26/04	\$210,000	QUESTIONABLE PER SALES IDENTIFICATION
006	983580	0160	1/5/04	\$186,900	QUESTIONABLE PER SALES IDENTIFICATION
006	983580	0210	9/23/03	\$186,000	BANKRUPTCY - RECEIVER OR TRUSTEE
006	983580	0210	3/14/03	\$193,304	EXEMPT FROM EXCISE TAX
006	983580	0950	1/6/03	\$189,000	GOVERNMENT AGENCY; EXEMPT FROM EXCISE TAX
006	983580	1120	8/3/04	\$78,353	QUIT CLAIM DEED
006	983580	1200	6/4/04	\$79,087	QUIT CLAIM DEED
006	983580	1300	4/4/03	\$175,000	QUESTIONABLE PER SALES IDENTIFICATION
006	983610	0120	10/9/03	\$204,950	Diagnostic Outlier
009	154750	0100	10/25/04	\$255,865	EXEMPT FROM EXCISE TAX
009	259565	0110	2/27/03	\$260,000	RELOCATION - SALE BY SERVICE
009	259565	0110	3/14/03	\$260,000	RELOCATION - SALE TO SERVICE
009	259565	0240	9/24/03	\$132,500	PARTIAL INTEREST (103, 102, Etc.) DORRatio
009	342204	9083	3/4/04	\$235,000	No Representation
009	342204	9227	9/15/03	\$310,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
009	342204	9281	11/20/03	\$75,000	%Compl DORRatio
009	352204	9044	9/29/03	\$259,000	Diagnostic Outlier
009	387390	0210	1/28/04	\$157,900	BANKRUPTCY - RECEIVER OR TRUSTEE
009	387390	0210	9/26/03	\$138,900	EXEMPT FROM EXCISE TAX
009	387390	0280	6/27/03	\$57,002	RELATED PARTY, FRIEND, OR NEIGHBOR
009	387390	0330	9/8/04	\$10,884	QUIT CLAIM DEED;
009	387400	0120	9/24/04	\$92,000	DORRatio
009	387400	0240	6/18/03	\$151,000	BANKRUPTCY - RECEIVER OR TRUSTEE
009	387400	0240	2/21/03	\$144,479	EXEMPT FROM EXCISE TAX
009	387401	0200	3/18/04	\$17,039	QUIT CLAIM DEED
009	387401	0470	11/26/03	\$216,000	RELOCATION - SALE TO SERVICE
009	387401	0630	9/29/04	\$239,000	RELOCATION - SALE TO SERVICE
009	387401	0780	12/13/04	\$350,000	Diagnostic Outlier
009	397760	0050	4/29/04	\$137,101	NON-REPRESENTATIVE SALE
009	397760	0130	10/5/04	\$141,000	NON-REPRESENTATIVE SALE
009	397760	0510	6/3/04	\$335,000	NON-REPRESENTATIVE SALE
009	546210	0160	7/8/03	\$36,000	CORPORATE AFFILIATES
009	572900	0060	2/20/04	\$450,000	PreviousValueFor%Comp
009	720590	0020	6/28/04	\$215,000	Diagnostic Outlier

**Vacant Sales Used in this Annual Update Analysis
Area 27**

Sub Area	Major	Minor	Sale Date	Sale Price	Comments
009	723759	0030	11/29/04	\$238,925	%Compl ActivePermitBeforeSale>25K
009	723759	0040	12/7/04	\$198,350	%Compl ActivePermitBeforeSale>25K
009	723759	0130	10/27/04	\$195,589	%Compl ActivePermitBeforeSale>25K
009	723759	0140	10/8/04	\$195,350	%Compl ActivePermitBeforeSale>25K
009	723759	0160	10/18/04	\$226,000	%Compl ActivePermitBeforeSale>25K
009	723759	0320	9/9/04	\$223,950	%Compl ActivePermitBeforeSale>25K
009	723759	0330	9/27/04	\$220,050	%Compl ActivePermitBeforeSale>25K
009	723759	0400	10/5/04	\$232,950	%Compl ActivePermitBeforeSale>25K
009	723759	0420	8/31/04	\$191,350	%Compl ActivePermitBeforeSale>25K
009	796720	0030	4/16/04	\$189,950	RELOCATION - SALE BY SERVICE
009	796720	0030	4/16/04	\$189,950	RELOCATION - SALE TO SERVICE
009	796720	0040	1/17/03	\$8,600	DORRatio
009	796760	0080	6/3/04	\$228,250	QUESTIONABLE PER SALES IDENTIFICATION
009	796775	0160	10/25/04	\$442,500	No Representation
009	796778	0020	1/27/04	\$74,116	QUIT CLAIM DEED
009	796778	0080	11/24/04	\$275,000	UnFinArea
009	796780	0010	5/12/04	\$83,054	QUIT CLAIM DEED
009	796790	0180	9/17/04	\$355,000	UnFinArea
009	796800	0010	12/1/03	\$150,000	SEGREGATION AND/OR MERGER
009	951093	0080	9/16/04	\$412,000	RELOCATION - SALE BY SERVICE
009	951093	0080	9/16/04	\$412,000	RELOCATION - SALE TO SERVICE
009	951093	0360	8/21/03	\$382,500	RELOCATION - SALE BY SERVICE
009	951093	0360	8/19/03	\$382,500	RELOCATION - SALE TO SERVICE
009	951096	0190	2/17/04	\$387,500	PreviousValueFor%Comp
009	951096	0200	4/14/04	\$357,500	PreviousValueFor%Comp
009	951096	0220	4/15/04	\$380,950	PreviousValueFor%Comp
009	951096	0240	3/22/04	\$398,900	PreviousValueFor%Comp
009	951096	0280	10/28/03	\$386,900	PreviousValueFor%Comp
009	951096	0310	11/23/04	\$434,503	%Compl ActivePermitBeforeSale>25K
009	951096	0330	10/22/03	\$339,000	PreviousValueFor%Comp
009	951096	0340	9/18/03	\$398,500	PreviousValueFor%Comp
009	951096	0350	5/18/04	\$423,500	PreviousValueFor%Comp
009	951096	0370	9/9/04	\$445,500	%Compl ActivePermitBeforeSale>25K
009	951096	0460	12/5/03	\$385,100	PreviousValueFor%Comp
011	022104	9091	5/27/03	\$143,250	Diagnostic Outlier
011	221480	0260	5/3/04	\$163,446	NO MARKET EXPOSURE
011	221480	0560	7/22/04	\$213,844	BANKRUPTCY - RECEIVER OR TRUSTEE
011	221480	0560	3/12/04	\$153,400	EXEMPT FROM EXCISE TAX
011	286560	0140	11/24/03	\$185,000	BANKRUPTCY - RECEIVER OR TRUSTEE
011	289555	0050	2/28/03	\$192,000	FORCED SALE
011	289555	0210	1/15/03	\$195,000	NO MARKET EXPOSURE
011	332950	0060	3/11/03	\$200,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
011	332950	0320	5/19/04	\$180,000	Diagnostic Outlier
011	332950	0500	9/25/03	\$140,000	NON-REPRESENTATIVE SALE
011	332950	0690	5/20/04	\$198,000	BANKRUPTCY - RECEIVER OR TRUSTEE

**Vacant Sales Used in this Annual Update Analysis
Area 27**

Sub Area	Major	Minor	Sale Date	Sale Price	Comments
011	332951	0740	10/31/03	\$162,522	Diagnostic Outlier
011	332952	0070	8/7/03	\$91,212	QUIT CLAIM DEED DORRatio
011	332952	0080	7/28/04	\$207,000	GOVERNMENT AGENCY; EXEMPT FROM EXCISE TAX
011	332954	0050	4/2/04	\$260,000	RELOCATION - SALE BY SERVICE
011	332954	0050	3/24/04	\$260,000	RELOCATION - SALE TO SERVICE
011	928620	0080	12/3/03	\$190,000	Diagnostic Outlier
012	030200	0150	3/12/03	\$195,000	Data Outlier
012	030200	0170	3/28/03	\$199,500	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
012	030200	0495	2/17/04	\$134,000	RELATED PARTY, FRIEND, OR NEIGHBOR
012	030200	0590	3/5/03	\$75,500	QUIT CLAIM DEED
012	030200	0590	3/5/03	\$75,500	QUIT CLAIM DEED
012	032104	9100	8/25/03	\$12,746	QUIT CLAIM DEED
012	102104	9023	5/28/03	\$228,000	Diagnostic Outlier
012	131030	0050	6/23/04	\$164,000	GOVERNMENT AGENCY; EXEMPT FROM EXCISE TAX
012	131110	0240	11/13/03	\$74,903	QUIT CLAIM DEED
012	131110	0300	9/8/03	\$192,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
012	131110	0420	12/20/04	\$66,202	DORRatio
012	131110	0550	3/9/04	\$182,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
012	131110	0580	12/9/03	\$144,900	BANKRUPTCY - RECEIVER OR TRUSTEE
012	131110	0580	7/15/03	\$143,450	EXEMPT FROM EXCISE TAX
012	131110	0710	8/17/04	\$88,995	QUIT CLAIM DEED; STATEMENT TO DOR DORRatio
012	131140	0150	3/5/04	\$74,774	QUIT CLAIM DEED
012	131140	0300	2/4/04	\$218,031	EXEMPT FROM EXCISE TAX
012	131140	0300	1/27/03	\$96,782	PARTIAL INTEREST (103, 102, Etc.)
012	131181	0110	10/12/04	\$193,000	CORPORATE AFFILIATES
012	131190	0240	7/12/03	\$150,000	QUIT CLAIM DEED
012	131191	0020	4/8/04	\$219,900	BANKRUPTCY - RECEIVER OR TRUSTEE
012	131292	0090	11/1/04	\$206,000	FORCED SALE
012	274400	0040	2/2/04	\$228,500	RELOCATION - SALE BY SERVICE
012	274400	0040	2/2/04	\$228,500	RELOCATION - SALE TO SERVICE
012	337600	0010	11/19/03	\$135,300	DIVORCE
012	387650	0070	6/13/03	\$206,500	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
012	387650	0120	7/7/03	\$139,329	QUIT CLAIM DEED
012	387671	0110	4/4/03	\$19,526	QUIT CLAIM DEED
012	401250	0210	7/21/03	\$24,728	QUIT CLAIM DEED
012	401280	0010	8/18/04	\$185,000	QUIT CLAIM DEED
012	401380	0020	7/27/04	\$368,000	RELOCATION - SALE BY SERVICE
012	401380	0020	6/22/04	\$368,000	RELOCATION - SALE TO SERVICE
012	401380	0075	12/8/03	\$205,000	Obsol
012	401440	0115	9/2/04	\$387,500	Diagnostic Outlier
012	401440	0291	5/22/03	\$160,000	%NetCond PrevImp<=10K
012	401440	0291	7/20/04	\$110,000	%NetCond PrevImp<=10K
012	401440	0303	3/10/03	\$192,900	BANKRUPTCY - RECEIVER OR TRUSTEE
012	545070	0070	5/30/03	\$128,000	QUIT CLAIM DEED
012	551560	0150	11/7/03	\$246,000	Diagnostic Outlier

**Vacant Sales Used in this Annual Update Analysis
Area 27**

Sub Area	Major	Minor	Sale Date	Sale Price	Comments
012	555680	0160	9/30/04	\$184,000	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
012	555680	0200	10/27/03	\$155,000	BANKRUPTCY - RECEIVER OR TRUSTEE
012	555680	0220	9/25/03	\$105,000	NON-REPRESENTATIVE SALE
012	565150	0090	12/5/03	\$237,950	EXEMPT FROM EXCISE TAX
012	565150	0120	8/15/03	\$52,277	QUIT CLAIM DEED
012	570860	0100	8/11/04	\$245,000	NO MARKET EXPOSURE
012	570860	0100	8/11/04	\$245,000	NO MARKET EXPOSURE
012	608460	0180	3/18/04	\$17,150	QUIT CLAIM DEED
012	608460	0380	6/28/04	\$92,394	QUIT CLAIM DEED
012	608460	0950	7/25/03	\$72,123	QUIT CLAIM DEED
012	769650	0110	2/27/04	\$154,524	QUIT CLAIM DEED
012	769661	0320	4/14/03	\$195,564	BANKRUPTCY - RECEIVER OR TRUSTEE
012	769661	0320	9/25/03	\$195,564	GOVERNMENT AGENCY
012	769661	0320	12/17/03	\$174,000	GOVERNMENT AGENCY
012	769661	0320	1/5/04	\$174,000	QUIT CLAIM DEED
012	769662	0010	4/22/04	\$73,498	PARTIAL INTEREST (103, 102, Etc.)
012	769662	0060	9/27/04	\$217,000	RELATED PARTY, FRIEND, OR NEIGHBOR
012	769662	0080	4/13/04	\$177,000	CORPORATE AFFILIATES
012	769662	0260	4/17/03	\$162,000	BANKRUPTCY - RECEIVER OR TRUSTEE
012	769662	0260	2/4/03	\$166,965	EXEMPT FROM EXCISE TAX
012	769662	0300	10/26/04	\$174,801	EXEMPT FROM EXCISE TAX
012	789550	0250	9/16/04	\$185,000	BANKRUPTCY - RECEIVER OR TRUSTEE
012	789550	0320	2/13/03	\$122,900	Diagnostic Outlier
012	800121	0220	3/4/03	\$200,000	RELATED PARTY, FRIEND, OR NEIGHBOR
012	800140	0030	3/26/03	\$205,500	BANKRUPTCY - RECEIVER OR TRUSTEE
012	800140	0150	6/3/04	\$275,000	RELOCATION - SALE BY SERVICE
012	800140	0150	5/6/04	\$275,000	RELOCATION - SALE TO SERVICE
012	800140	0180	3/12/04	\$259,900	RELOCATION - SALE BY SERVICE
012	800140	0180	2/28/04	\$259,900	RELOCATION - SALE TO SERVICE
012	800145	0020	4/27/04	\$260,000	PreviousValueFor%Comp
012	815961	0130	4/14/03	\$163,000	GOVERNMENT AGENCY; EXEMPT FROM EXCISE TAX
012	815961	0150	6/6/03	\$190,500	ESTATE ADMINISTRATOR, GUARDIAN, OR EXECUTOR
012	873235	0140	5/10/04	\$155,000	Diagnostic Outlier
012	934650	0180	6/19/03	\$167,000	CORPORATE AFFILIATES
012	934650	0180	6/23/03	\$162,250	CORPORATE AFFILIATES

**Vacant Sales Used in this Annual Update Analysis
Area 27**

Sub Area	Major	Minor	Sale Date	Sale Price	Lot Size	View	Water-front
6	272204	9006	12/19/03	\$ 150,000	91911	N	N
6	272204	9085	02/27/03	\$ 82,500	24496	N	N
6	282204	9083	03/21/03	\$ 85,000	66211	N	N
9	026940	0060	03/17/03	\$ 10,000	9675	N	N
9	796775	0190	09/11/03	\$ 97,500	19975	N	N
9	796800	0011	02/09/04	\$ 55,000	3575	N	N
9	796800	0012	02/09/04	\$ 55,000	5900	N	N
9	951096	0180	01/23/03	\$ 125,000	7817	N	N
11	030300	0075	07/27/04	\$ 75,000	17000	N	N
11	030300	0110	04/18/03	\$ 51,450	16600	N	N
12	030200	0625	07/30/04	\$ 58,000	22680	N	N
12	032104	9049	11/03/04	\$ 890,500	91040	N	N
12	042104	9021	02/12/03	\$ 53,500	42253	N	N
12	401320	0110	08/25/04	\$ 100,000	19211	N	Y
12	401440	0130	05/27/04	\$ 27,000	52272	N	N
12	401440	0180	06/03/04	\$ 87,500	97278	N	N
12	401440	0285	11/01/04	\$ 140,000	18013	N	N
12	800145	0020	02/28/03	\$ 60,000	8862	N	N

**Vacant Sales Removed from this Annual Update Analysis
Area 27**

Sub Area	Major	Minor	Sale Date	Sale Price	Comments
6	222204	9021	09/09/04	\$ 1,438	QUIT CLAIM DEED;
6	222204	9021	09/09/04	\$ 2,199	QUIT CLAIM DEED;
6	222204	9081	05/22/03	\$ 66,000	QUIT CLAIM DEED;
6	677780	0060	01/14/03	\$ 70,000	RELATED PARTY, FRIEND, OR NEIGHBOR;
9	342204	9235	08/06/03	\$ 636,000	SEGREGATION AND/OR MERGER
9	352204	9007	07/25/03	\$ 380,000	SEGREGATION AND/OR MERGER
9	352204	9007	05/18/04	\$ 1,025,000	RELATED PARTY, FRIEND, OR NEIGHBOR
9	951096	0080	04/25/03	\$ 125,000	BUILDER OR DEVELOPER SALES;
12	030300	0425	05/07/03	\$ 4,000	QUIT CLAIM DEED;
12	401440	0294	07/21/04	\$ 120,000	SEGREGATION AND/OR MERGER



King County
Department of Assessments
King County Administration Bldg.
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www.metrokc.gov/assessor/

Scott Noble
Assessor

MEMORANDUM

DATE: January 31, 2005
TO: Residential Appraisers
FROM: Scott Noble, Assessor
SUBJECT: 2005 Revaluation for 2006 Tax Roll

The King County Assessor, as elected representative of the people of King County, is your client for the mass appraisal and summary report. The King County Department of Assessments subscribes to the Uniform Standards of Professional Appraisal Practice 2005. You will perform your appraisals and complete your summary mass appraisal reports in compliance with USPAP 2005. The following are your appraisal instructions and conditions:

1. You are to timely appraise the area or properties assigned to you by the revalue plan. The Departure Provision of USPAP may be invoked as necessary including special limiting conditions to complete the Revalue Plan.
2. You are to use all appropriate mass appraisal techniques as stated in USPAP, Washington State Law; Washington State Administrative Code, IAAO texts or classes.
3. The standard for validation models is the standard as delineated by IAAO in their Standard on Ratio Studies (approved 1999); and
4. Any and all other standards as published by the IAAO.
5. Appraise land as if vacant and available for development to its highest and best use [USPAP SR 6-2(i)]. The improvements are to be valued at their contribution to the total.
6. You must complete the revalue in compliance with all Washington and King County laws, codes and with due consideration of Department of Revenue guidelines. The Jurisdictional Exception is to be invoked in case USPAP does not agree with these public policies.

7. Physical inspections should be completed per the revaluation plan and statistical updates completed on the remainder of the properties as appropriate.
8. You must complete a written, summary, mass appraisal report for each area and a statistical update report in compliance with USPAP Standard 6.
9. All sales of land and improved properties should be validated as correct and verified with participants as necessary.
10. You must use at least two years of sales. No adjustments to sales prices shall be made to avoid any possibility of speculative market conditions skewing the basis for taxation.
11. Continue to review dollar per square foot as a check and balance to assessment value.
12. The intended use of the appraisal and report is the administration of ad valorem property taxation.
13. The intended users include the Assessor, Board of Equalization, Board of Tax Appeals, King County Prosecutor and Department of Revenue.
14. The land abstraction method should have limited use and only when the market indicates improved sales in a neighborhood are to acquire land only. The market will show this when a clear majority of purchased houses are demolished or remodeled by the new owner.
15. If "tear downs" are over 50% of improved sales in a neighborhood, they may be considered as an adjustment to the benchmark vacant sales. In analyzing a "tear down" ensure that you have accounted for any possible building value.

SN:swr